



AGENDA
PLAN COMMISSION
Tuesday, September 11, 2018 at 6:30 p.m.
Common Council Chambers, 224 East Jefferson Street

Mayor Jeannie Hefty, Chairman
Tom Preusker, Aldermanic Representative
Bob Grandi, Aldermanic Representative
Chad Redman, Commissioner
Andy Tully, Commissioner
John Ekes, Commissioner
Art Gardner, Commissioner

1. Call to Order
2. Roll Call
3. Approval of the minutes of August 14, 2018
4. Letters and Communications: None
5. Citizen Comments
6. Old Business: None
7. New Business:
 - A. Consideration a to recommend approval to the Common Council for a Rezone Map Amendment application from Lynch Ventures for property located at S. Kane Street (at Industrial Drive), to rezone the property from A-1, Agricultural/Holding District to M-2, General Manufacturing District.
 - B. Consideration to approve a Site Plan application from Lynch Ventures for property located at S. Kane Street (at Industrial Drive) to add a parking lot on vacant land for storage of vehicles produced by LDV, subject to Graef's September 7, 2018 and Kapur & Associates' September 7, 2018 memorandums to the Plan Commission.
8. Adjournment

***Note:** If you are disabled and have accessibility needs or need information interpreted for you, please call the City Clerk's Office at 262-342-1161 at least 24 hours prior to the meeting.*

***Note:** Notice is hereby given that a majority of the members of the Common Council may be present at the meeting. Although this may constitute a quorum of the Council, the Council will not take any action at this meeting.*



Minutes
City of Burlington Plan Commission
August 14 2018, 6:30 p.m.

Mayor Jeannie Hefty called the Plan Commission meeting to order at 6:30 p.m. Roll call: Aldermen Tom Preusker; Bob Grandi; and Commissioner Art Gardner were present. Commissioners Chad Redman; Andy Tully; and John Ekes were excused.

APPROVAL OF MINUTES

Alderman Preusker moved, and Alderman Grandi seconded to approve the minutes of July 10, 2018. All were in favor and the motion carried.

LETTERS & COMMUNICATIONS

None

CITIZEN COMMENTS

Barb Bakshis, Fox River State Bank, stated there is an economic limit to what can be financed when purchasing old buildings in the downtown area. It is a challenge to bring the buildings up to code since there are so many restrictions in the historic district, as a result the city could see more empty buildings.

OLD BUSINESS

A. Consideration to recommend approval to the Common Council of a Certified Survey Map application from GMX Real Estate Group, LLC for property located at 1054 Milwaukee Avenue, subject to Graef's August 7, 2018 memorandum to the Plan Commission.

- Mayor Hefty opened this item for discussion.
- Tanya Fonesca, Graef, explained the applicant proposes to move the lot line and purchase more land for the development extension to the south, in order to meet the dimensions and requirements.
- Alderman Preusker asked if the size and number of stalls are not what the city requires. Ms. Fonesca replied the city has a larger and higher requirement than most communities, but there is a balance with the shared parking lot.
- Alderman Grandi asked Carina Walters, City Administrator, maybe the Certified Survey Map could be on the Committee of the Whole and Common Council meeting the same night, so it does not delay the project. Ms. Walters responded that is a possibility.
- There were no further comments.

Alderman Grandi moved, and Commissioner Gardner seconded to approve the Certified Survey Map.

All were in favor and the motion carried.

B. Public Hearing to hear public comments regarding a Conditional Use application from GMX Real Estate Group, LLC for property located at 1054 Milwaukee Avenue to allow for drive-thru window, two outdoor seating areas, a reduced landscape and parking ratio requirement, and signage on four sides of the building.

- Mayor Hefty opened the Public Hearing at 6:37 pm.
- There were no comments.

Alderman Preusker moved, and Alderman Grandi seconded to close the Public Hearing at 6:38 pm.

All were in favor and the motion carried.

C. Consideration to approve a Conditional Use and Site Plan application from Andrew Goodman for property located at 1054 Milwaukee Avenue to allow for a drive-thru window, two outdoor seating areas, a reduced landscape and parking ratio requirement, signage on four side of the building, and to construct a 6,200 square foot multi-tenant commercial building, subject to Graef's August 7, 2018, Kapur & Associates' July 25, 2018 and Fire Department's August 6, 2018 memorandums to the Plan Commission.

- Mayor Hefty opened this item for discussion.
- Alderman Grandi stated the landscape had decreased significantly more than originally presented, from 25% to 18%. Ms. Fonesca explained there was a change in the Site Plan with one retail business and two restaurant occupants, which needed more space. Ms. Fonesca stated since it was an improvement to the property, it was appropriate to reduce the landscaping. Gregory Guidry, Building Inspector, commented that there is still landscape around the perimeter that is not part of the calculation.
- Alderman Grandi questioned if there was a visual of the final look. Mike Colombo, JTS Architects, stated the brick color will match the surrounding buildings as requested. Alderman Preusker asked if there could be a gable roof. Ms. Fonesca commented at the June 12, 2018 meeting the Commissioners had not requested a gable roof. Mr. Colombo responded this design is the same as most communities, as well as the grouping of tenants and material used.
- Alderman Grandi stated on Graef's review it states that signage beyond 8 square feet should be considered, and asked what the maximum size was. Ms. Fonesca answered the building will be viewed from three sides, and needed signs in the rear of the building. Mr. Guidry replied it is 1.40 square feet per 1 linear foot of exterior storefront wall width. Mr. Colombo explained since there is an angled street there are many areas to see the building from. Alderman Preusker stated this community has been waiting a long time for something like this and would like to see a gable roof, since this location is an entry way into the city. Alderman Preusker further stated he would like to see landscape incorporated by the patio. Mr. Colombo replied that a gable roof cannot hide the rooftop units, and that is not an attractive look. Mr. Colombo explained once the patio, landscape, and umbrellas are added it will improve the look. Ms. Walters commented this building will probably be complimentary to the other strip mall with Jimmy Johns, Great Clips, Athletico Physical Therapy, and AT&T. Andrew Goodman, JTS Architects, stated they have accomplished the building wrap around concept

previously requested by the Plan Commission. Mr. Guidry mentioned that Kapur & Associates and the Fire Department give a conditional approval.

- There were no further comments.

Alderman Preusker moved, and Alderman Grandi seconded to approve the Conditional Use and Site Plan for a multi-tenant commercial building.

All were in favor and the motion carried.

NEW BUSINESS

A. Public Hearing to hear public comments regarding a Conditional Use application from Square One Investments for property located at 616 Droster Avenue, to allow for a cold storage building for storage of heating, ventilation, and air conditioning (HVAC) units.

- Mayor Hefty opened the Public Hearing at 6:57 p.m.
- There were no comments.

Alderman Preusker moved, and Commissioner Gardner seconded to close the Public Hearing at 6:58 p.m.

All were in favor and the motion carried.

B. Consideration to approve a Conditional Use and Site Plan application for property located at 616 Droster Avenue to allow for a cold storage building for storage of heating, ventilation, and air conditioning (HVAC) units.

- Mayor Hefty opened this item for discussion.
- Ms. Fonesca explained a formal Site Plan for the cold storage building is required to be submitted and reviewed by staff, since it is lacking the lighting improvements and clarification of the apron for the driveway. Commissioner Gardner stated he would like to see detailed plans to make an accurate decision. Mr. Guidry explained this project has been delayed for about three months, and the applicant was hoping to be taken off the agenda after the packets were sent out. Mr. Guidry also explained plans will need to be submitted before approval by staff. Alderman Preusker stated he would like to see the final building plans. Steve Hanson, owner, stated he has hired a structural engineer to work on submitting the plans. Mr. Hanson explained it will be a steel pole building with four overhead doors, steel siding, and steel roof to match the existing building.
- There were no further comments.

Commissioner Gardner moved, and Alderman Preusker seconded to table the Conditional Use and Site Plan until detailed plans are submitted.

All were in favor and the motion carried.

C. Consideration to recommend approval of a Preliminary Plat for Stonegate Subdivision, Addition II, subject to Graef's August 7, 2018, Kapur & Associates' June 28, 2018, and Fire Department's August 6, 2018 memorandums to the Plan Commission.

- Mayor Hefty opened this item for discussion.
- Ms. Fonesca, explained Phase I has 63 single-family homes, and now an additional 30 lots in Phase II is proposed to be developed. The Preliminary Plat has to have approval prior to the Final Plat, which has more detail. Ms. Fonesca stated in her report on page 2 that states "lots 83-94", should read "83-93". Alderman Preusker asked why there are 93 lots and only 63 homes. Ms. Fonesca answered that Phase I has 63 homes, and now Phase II will be 30 homes. Alderman Preusker was questioning what kind of protection the city has for unimproved roads and other infrastructure, and what the policy is for having no parks. Ms. Walters responded staff is working on a developer's agreement requiring a letter of credit, issued by the bank, which outlines the infrastructure for assurances that the city receives the money to finish roads or other issues if there are problems. Ms. Fonesca explained there are few options regarding the parks: ask the developer to dedicate a smaller site, or a payment in lieu of, which could be used to purchase additional park plans or maintenance. Ms. Walters stated the payment could also be placed in the park development fund for the Park Board. Mr. Guidry questioned if a park could be privately owned by a Home Owners Association. Ms. Fonesca replied, they could be, but was not sure on the city's park regulations. Alderman Preusker commented he felt we should revisit the park regulations such as payment in lieu of, ordinances, and policies. Alderman Preusker further mentioned that sometimes a Home Owners Association dissolves and then the city has no recourse of action. Ms. Walters stated staff recommends approval for the Preliminary Plat, but there will be more information provided prior to a final approval. Alderman Preusker asked what size the lots are. Ms. Fonesca replied the building areas are consistently sized, and the lots are anywhere from 10,000 to 57,000 square feet.
- There were no further comments.

Alderman Grandi moved, and Commissioner Gardner seconded to approve the Preliminary Plat.

Randy Rosenmerkel, 2240 Stonegate Road, President of Home Owners Association (HOA), clarified this is Phase III and not Phase II. Ms. Fonesca corrected Mr. Rosenmerkel that there was an original Phase with 30 lots, Phase I with 33 lots and now Phase II with 30 lots. Mr. Rosenmerkel explained he would like the new owners to stay within the HOA Covenants so the subdivision does not look like a junkyard over the years, and have matching light poles and mailboxes. Mr. Rosenmerkel stated the parks could be maintained with the association fees. Mr. Rosenmerkel commented there have been issues with final grading and suggested putting up a bond to be able to have recourse.

All were in favor and the motion carried.

D. Public Hearing to hear public comments regarding a Conditional Use application from Wendy Lynch for property located at 413 N. Pine Street, to be used as an outdoor seating area.

- Mayor Hefty opened the Public Hearing at 7:26 p.m.
- Ms. Fonesca explained the Historic Preservation Commissioners approved to demolish the building since the structural integrity is no longer there, and use the outdoor space for Mercantile Hall and 164 E. Washington Street. Shad Branen, owner, stated the two contractors and a structural engineer who reviewed the building said the rear was destroyed by the fire and the front was not worthwhile, so he wanted to expand the rear to use as a green space and courtyard.
- There were no further comments.

Alderman Preusker moved, and Alderman Grandi seconded to close the Public Hearing at 7:30 p.m.

All were in favor and the motion carried.

E. Consideration to approve a Conditional Use and Site Plan application from Wendy Lynch for property located at 413 N. Pine Street, to deconstruct and reconstruct the building that is unsalvageable due to fire damage, subject to Graef's August 7, memorandum to the Plan Commission.

- Mayor Hefty opened this item for discussion.
- Commissioner Gardner stated he is excited and welcomes the addition, and likes the creativity of reusing the brick. Alderman Pruesker commented how Lake Geneva has a few little gardens, and this will be just like one of these beautiful gardens. Alderman Grandi stated he agrees, and is also excited for the 164 E. Washington Street project.
- Mayor Hefty thanked Mr. Branen Ms. Lynch, and Stephanie Heft in creating the plans.
- There were no further comments.

Commissioner Gardner moved, and Alderman Preusker seconded to approve the Conditional Use and Site Plan.

All were in favor and the motion carried.

F. Public Hearing to hear public comments regarding a Conditional Use application from Wendy Lynch for property located at 164 E. Washington Street, to use the second-story as Vacation Rentals by Owner (VRBO).

- Mayor Hefty opened the Public Hearing at 7:32 p.m.

- There were no comments.

Alderman Grandi moved, and Commissioner Gardner seconded to close the Public Hearing at 7:33 p.m.

All were in favor and the motion carried.

G. Consideration to approve a Conditional Use application from Wendy Lynch for property located at 164 E. Washington Street to use a second-story as Vacation Rentals by Owner (VRBO) suites, subject to Graef's August 7, 2018 and Fire Department's August 6, 2018 memorandums to the Plan Commission.

- Mayor Hefty opened this item for discussion.
- Stephanie Heft, on behalf of Wendy Lynch, explained the upstairs will be a 1 bedroom unit and 1 bathroom unit. The first floor space will be used for showers, dinner parties, and more, which will have access to the green space and an indoor/outdoor bar. Commissioner Gardner asked what the timeline was for completion. Ms. Heft replied the green space will be completed before the end of the year.
- Alderman Preusker stated he likes the VRBO concept, but asked if all lodging was to be licensed with the State for taxes purposes. Alderman Grandi responded our duty was just to inform the owner that a license is needed by the State. Alderman Preusker commented he feels the project should be put on hold until they receive the VRBO license. Ms. Walters stated staff recommends moving forward, and the license is something that can be obtained in the future. Alderman Preusker stated he would approve, provided the owner provides the license from the State prior to opening the business. Commissioner Gardner replied that he is sure the owner will obtain any license that is required. Commissioner Gardner mentioned that this topic is starting to drift away from the Conditional Use that is on the agenda.
- There were no further comments.

Commissioner Gardner moved, and Alderman Preusker seconded to approve the VRBO suites.

All were in favor and the motion carried.

H. Public Hearing to hear public comments regarding a Conditional Use application from Susan Myres for property located at 448 S. Pine Street, to operate an art, painting studio, and retail business.

- Mayor Hefty opened the Public Hearing at 7:47 p.m.
- Susan Myres, owner, explained currently she has a shop in Lake Geneva and wanted to expand and come to Burlington. Ms. Myres stated she uses recycled parts to create home décor, and teaches class. Ms. Myres further stated the fire inspection is up to code.

- There were no further comments.

Alderman Grandi moved, and Commissioner Gardner seconded to close the Public Hearing at 7:49 p.m.

All were in favor and the motion carried.

I. Consideration to approve a Conditional Use application from Susan Myres for property located at 448 S. Pine Street, to operate an art, painting studio, and retail business, subject to Graef's August 7, 2018 and Fire Department's August 6, 2018 memorandums to the Plan Commission.

- Mayor Hefty opened this item for discussion.
- Gregory Guidry, Building Inspector, stated the Fire Department approves.
- There were no further comments.

Alderman Preusker moved, and Commissioner Gardner seconded to approve the Conditional Use.

All were in favor and the motion carried.

ADJOURNMENT

Alderman Preusker moved, and Commissioner Gardner seconded to adjourn the meeting at 7:51 p.m.

All were in favor and the motion carried.

Recording Secretary
Kristine Anderson
Administrative Assistant



DATE: September 11, 2018

SUBJECT: Consideration to recommend approval of a Rezone Map Amendment request at S. Kane Street (at Industrial Drive) from A-1 District to M-2 District.

SUBMITTED BY: Megan Watkins, Assistant City Administrator/Zoning Administrator

PROJECT/SCOPE:

This item is to consider recommending approval of a Rezone Map Amendment request from Lynch Ventures for property at S. Kane Street (at Industrial Drive). The applicant is requesting to rezone the property from A-1, Agricultural/Holding District to M-2, General Manufacturing District. The applicant proposes to develop a parking lot that would be used for truck storage. There is no proposal for a building on the site, and no future to do so.

ZONING:

The parcel is currently zoned A-1, Agricultural/Holding District. The applicant is requesting to rezone to M-2, General Manufacturing District.

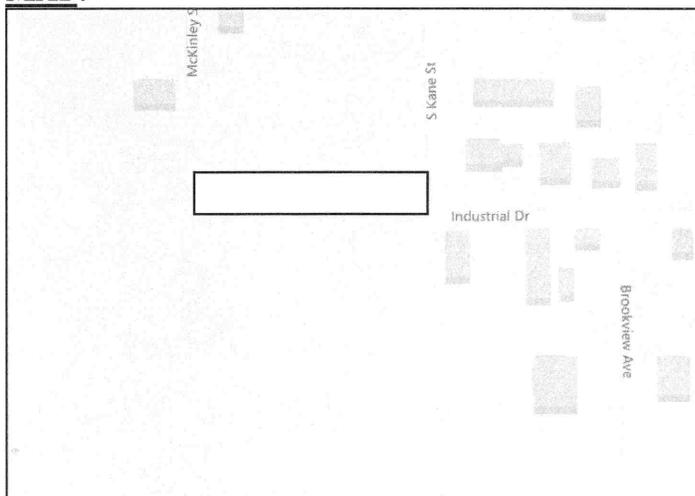
RECOMMENDATION:

Graef recommends approval of this Rezone Map Amendment, subject to items listed in the September 7, 2018 memorandum.

TIMING/IMPLEMENTATION:

This item is for recommendation to the Council at the September 11, 2018 Plan Commission, is scheduled for the September 18, 2018 Committee of the Whole meeting and with a Public Hearing the same night and at the October 2, 2018 Common Council meeting for final consideration.

MAP:





collaborāte / formulāte / innovāte

MEMORANDUM

TO: Plan Commission
City of Burlington

FROM: GRAEF
Ben Block
Tanya Fonseca, AICP

DATE: September 7, 2018

SUBJECT: Review of a Petition for Rezoning Map Amendment and Site Plan Approval Application from Lynch Ventures, LLC.

A. PURPOSE

Consider for approval a Petition for Rezoning Map Amendment to rezone parcel 206-02-19-05-065-100 from "A-1 Agricultural/Holding" to "M-2 General Manufacturing," and a Site Plan Approval Application for a parking lot for truck storage on that parcel.

B. RECOMMENDATION

Based upon the review of the submitted materials, GRAEF recommends the following:

1. The Petition for Rezoning Map Amendment from Lynch Ventures, LLC be **APPROVED**.
2. The Site Plan Approval Application from Lynch Ventures, LLC be **CONDITIONALLY APPROVED** with the following conditions:
 - The Applicant resubmits a landscaping plan that fully complies with the requirements of §315-51. Please see section G.

C. BACKGROUND

Lynch Ventures, LLC submitted two applications to rezone parcel 206-02-19-05-065-100 from the A-1 district to the M-2 district, and to develop a parking lot on the property. The proposed parking lot would be used for truck storage. There is not a proposal for a building on the site, and no future to do so.

The Applicant submitted the following materials:

- Site Plan
- Grading Plan
- Erosion Control Plan
- Stormwater Basin Details
- Construction Details
- Landscape Plan

D. COMPLIANCE WITH BURLINGTON ZONING CODE ARTICLE XII: CHANGES AND AMENDMENTS

This section of the Burlington Zoning Code governs changes and amendments to the district boundaries within the City. The proposed map amendment is compliant with the administrative requirements outlined in this section.

Zoning changes and amendments must be compatible with the surrounding context, as well as consistent with the City's future land use plan. The proposed map amendment is compatible with the surrounding context, as it would extend the existing business park properties that are zoned "M-2 General Manufacturing," and is consistent with the City's future land use plan, which designates the majority of the target parcel as "industrial/business park."

It should be noted that a portion of the target parcel has been designated as a primary environmental corridor by SEWRPC. Though the City of Burlington does not have regulations that relate to primary environmental corridors, it is recommended that Plan Commission consider this context when evaluating the proposed site plan and the related landscaping requirements.

E. COMPLIANCE WITH BURLINGTON §315-31 "M-2 GENERAL MANUFACTURING DISTRICT"

This section of the Burlington Zoning Code governs development in the M-2 district.

The proposed site plan indicates this property will be used for truck storage, which is a permitted use of the M-2 district.

The proposed site plan is compliant with the lot area, building height, and setback requirements of the M-2 district.

The submitted materials did not include an exterior lighting plan for this development – the Applicant has confirmed that no exterior lighting will be installed.

F. COMPLIANCE WITH BURLINGTON §315-48 "PARKING REQUIREMENTS" AND §315-52 "LANDSCAPING"

These sections of the Burlington Zoning Code provide requirements for off-street parking areas and landscape requirements in the bufferyards.

The proposed landscape plan indicates that the majority of these requirements are satisfied, with the exception of the following:

- The landscape plan indicates that there will be no plant materials in the western bufferyard.
- The landscape plan indicates that there will be no plant materials in the southern bufferyard to the west of the parking lot.

Per §315-52(H), plant materials are required in all of the above bufferyards, and these bufferyards must extend to the full boundaries of the property.

It should be noted that the plant materials in the eastern bufferyard do not perfectly match the requirements of Table 8, as it proposes fewer shrubs than required and more trees than required. It is our opinion that the proposed plant materials would create an attractive and effective bufferyard.

G. APPLICANT REQUEST REGARDING LANDSCAPING REQUIREMENTS

The Applicant has requested that they plant trees in other City locations as a means to bypass the landscape requirements of §315-52. Any negotiations with respect to these requirements should be conducted between the Applicant and the Plan Commission.



Fire Department

165 W. Washington Street, Burlington, WI 53105
(262) 763-7842 – (262) 767-8602 fax
www.burlington-wi.gov

MEMORANDUM

TO: Plan Commission
City of Burlington

FROM: City of Burlington Fire Department
Alan Babe, Fire Chief
Wes Miner, Fire Inspector

DATE: September 6, 2018

SUBJECT: Rezone Map Amendment for Lynch Ventures property located at S. Kane Street.

A. PURPOSE

Review a Rezone Map Amendment for Lynch Ventures property located at S. Kane Street.

B. RECOMMENDATION

Based upon the review of the submitted materials, the City of Burlington Fire Department has no comments regarding the subject matter.



Building & Zoning Department
300 N. Pine Street, Burlington, WI, 53105
(262) 342-1163 – (262) 763-3474 fax
www.burlington-wi.gov

For Office Use Only	
Petition No.	_____
Date Filed	8/9/18
Date Received (\$500)	8/9/18
Zoning Administrator	KA MU (initials)

ZONING FORM NO. 2
PETITION FOR REZONING MAP AMENDMENT

TO THE COMMON COUNCIL OF THE CITY OF BURLINGTON, WISCONSIN:

I, the undersigned, being owner/owner's agent of all the area herein described, hereby petition the Common Council of the City of Burlington, Wisconsin, to rezone and make appropriate a zoning map amendment to the following described property from A-1, Agricultural/Holding District to M-2, General Manufacturing District:

Address of Property: Kane Street 706-02-19-05-065-100 Acres: 10.01

Legal Description of Property (attach additional sheets if needed): _____

See attached.

I have requested this rezoning for the purpose of: Parking lot for the storage of vehicles produced by LDV.

Please find the following items attached:

Plot Plan drawn to a scale of one inch equals one hundred (100) feet showing the area to be rezoned, its location, its dimensions, the location and classification of adjacent zoning districts, and the location and existing use of all properties within two hundred (200) feet of the area proposed to be rezoned.

Owners' Names and Addresses of all properties lying within two hundred (200) feet of the area proposed to be rezoned.

Additional Information required by the Plan Commission or Common Council.

I have certified that all the above statements submitted herewith are true and correct to the best of my knowledge and belief.

PROPERTY OWNER:

Name Lynch Ventures, LLC

Address 2300 Browns Lake Dr.

Burlington WI 53105

(City) (State) (Zip)

Telephone No. ~~262-514-4000~~ 716-4003

Date 8/7/18

OWNER'S AGENT:

Name Kurt Petrie

Address 180 Industrial Drive

Burlington WI 53105

(City) (State) (Zip)

Telephone No. ~~262-514-4000~~

Date 8/7/18 716-4003

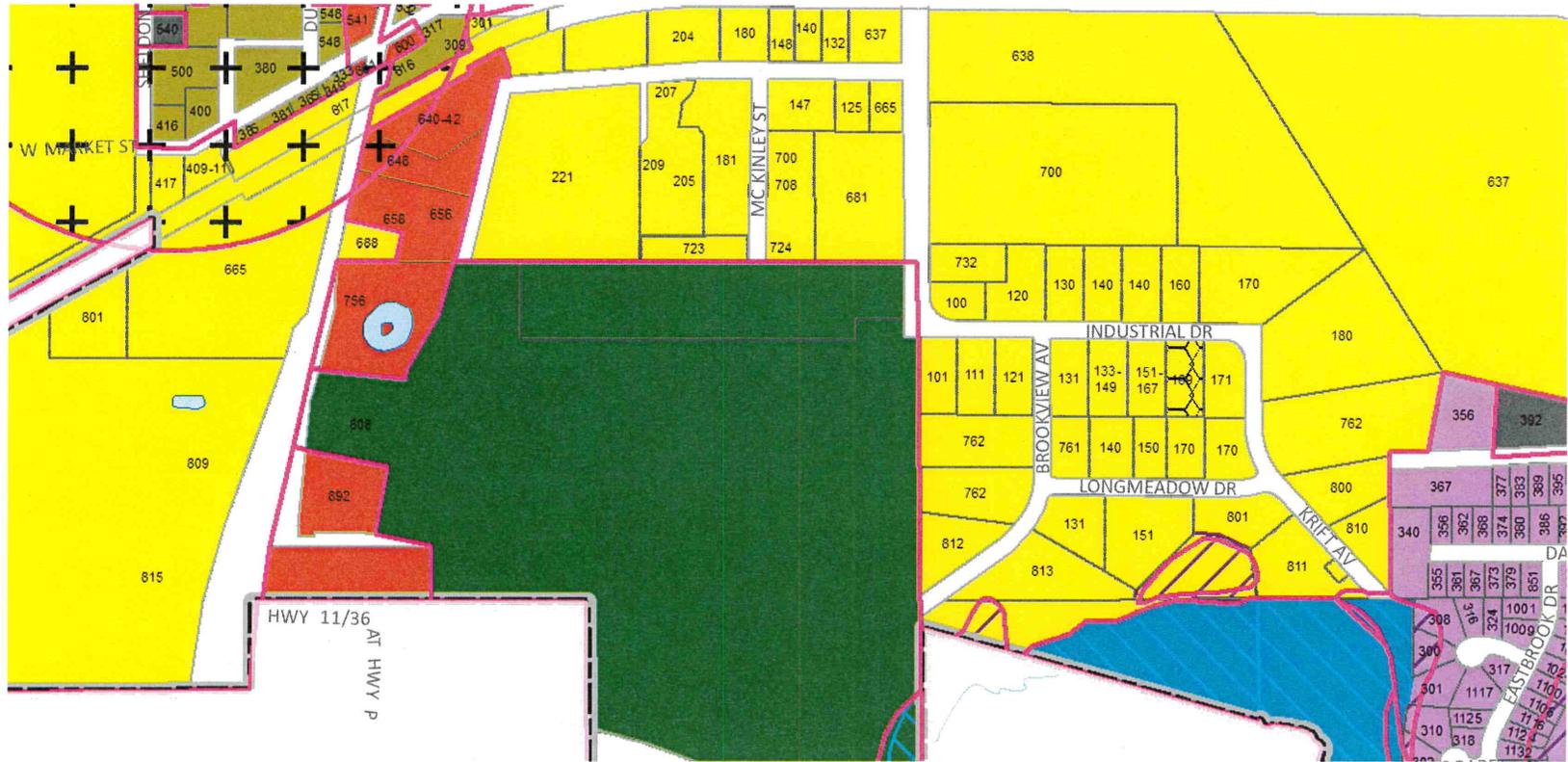
More information maybe requested by the Plan Commission and/or Common Council if deemed necessary to properly evaluate your request. The lack of information requested by this form may be sufficient cause to deny the petition. If you have any question regarding the procedure, please contact the Zoning Administrator.

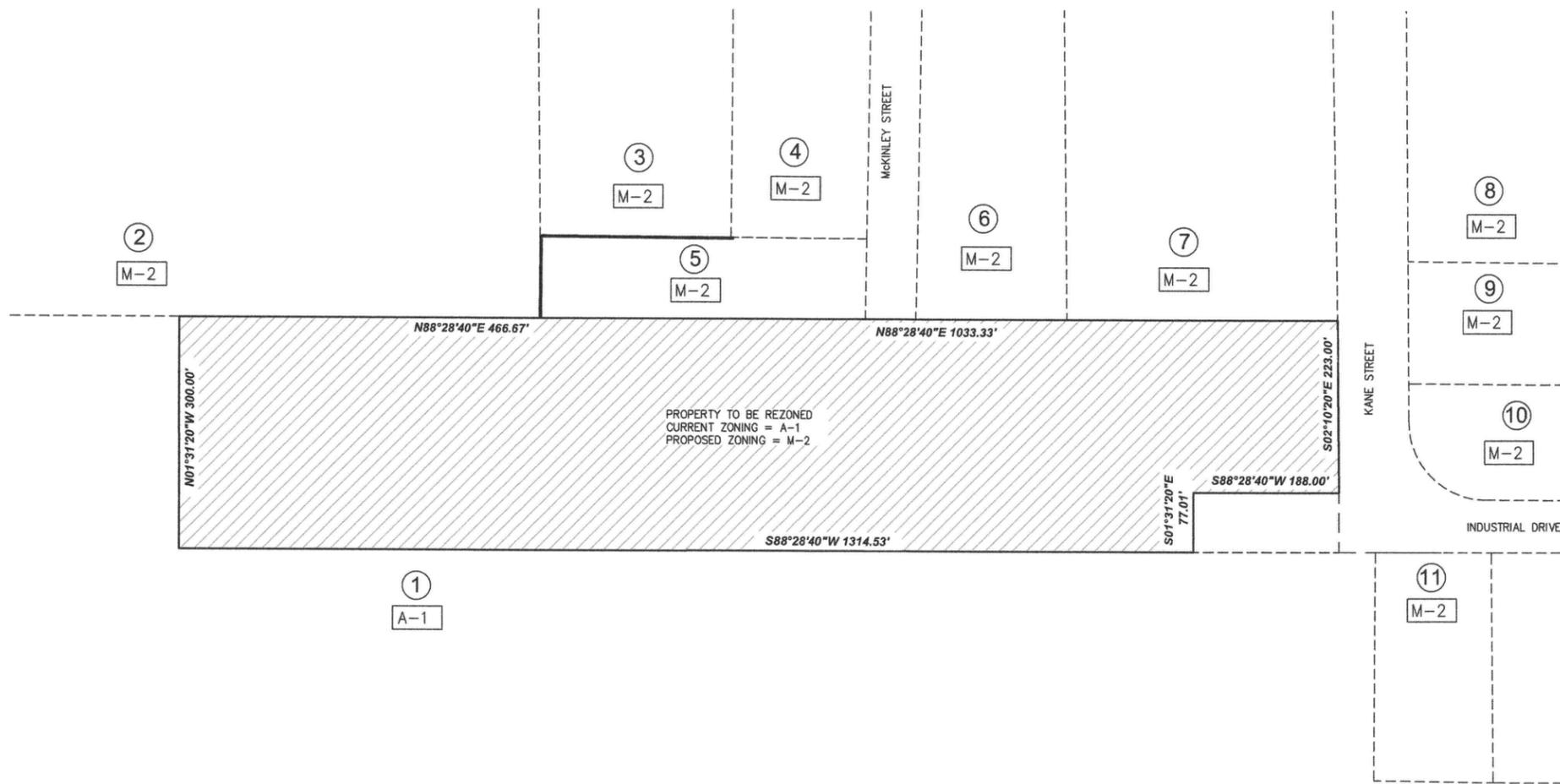
LEGAL DESCRIPTION OF PROPERTY

RT OF THE LANDS DESCRIBED IN QUIT CLAIM DEED, DOCUMENT NO. 1738118, LOCATED IN THE NORTHWEST 1/4 OF SECTION 5, TOWNSHIP 2 NORTH, RANGE 19 EAST, CITY OF BURLINGTON, COUNTY OF RACINE, STATE OF WISCONSIN, DESCRIBED MORE PARTICULARLY AS FOLLOWS:

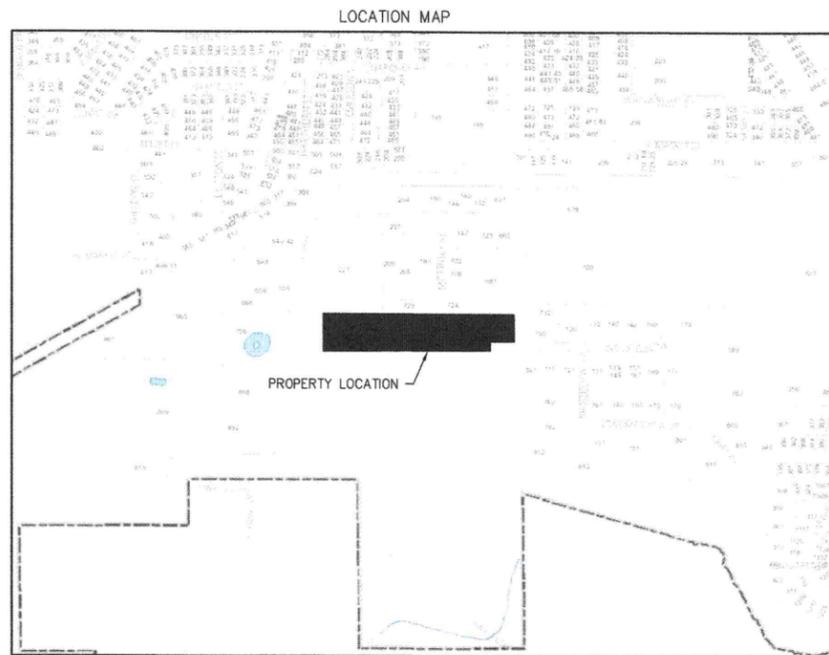
BEGINNING AT THE SOUTHWEST CORNER OF PARCEL TWO OF CERTIFIED SURVEY MAP NO. 1039 AS RECORDED NOVEMBER 3, 1983 IN VOLUME 3 OF CERTIFIED SURVEY MAPS, PAGES 100-103; THENCE ALONG THE NORTH LINE OF THE LANDS DESCRIBED IN SAID QUIT CLAIM DEED, DOCUMENT NO. 1738118, N 88°28'40" E, 1033.33 FEET TO THE WEST RIGHT-OF-WAY LINE OF SOUTH KANE STREET; THENCE S 2°10'20" E ALONG SAID RIGHT-OF-WAY, 223.00 FEET; THENCE PARALLEL WITH THE AFOREMENTIONED NORTH LINE OF THE LANDS DESCRIBED IN QUIT CLAIM DEED, DOCUMENT NO. 1738118, S 88°28'40" W, 188.00 FEET; THENCE S 1°31'20" E, PERPENDICULAR TO SAID NORTH LINE, 77.01 FEET; THENCE S 88°28'40" W, PARALLEL WITH SAID NORTH LINE, 1314.53 FEET; THENCE N 1°31'20" W, PERPENDICULAR TO SAID NORTH LINE, 300.00 FEET TO SAID NORTH LINE; THENCE N 88°28'40" E ALONG SAID NORTH LINE, 466.67 FEET TO THE PLACE OF BEGINNING.

SAID PARCEL CONTAINS 10.01 ACRES, MORE OR LESS.





LOT NUMBER	OWNER ADDRESS	EXISTING USE
①	SUZANNE E HUGHES REV TRUST DATED 12/14/99 8190 CAUSEWAY BLVD S ST. PETERSBURG, FL 33707	VACANT
②	TPS ACQUISITION LLC 221 FRONT STREET BURLINGTON, WI 53105	GENERAL MANUFACTURING
③	FEROX PROPERTIES LLC 205 FRONT STREET BURLINGTON, WI 53105	GENERAL MANUFACTURING
④	LYNCH VENTURES LLC 2300 BROWNS LAKE DR. BURLINGTON, WI 53105	GENERAL MANUFACTURING
⑤	H&P ENTERPRISES OF BURLINGTON LLC 2305 S BROWNS LAKE RD BURLINGTON, WI 53105	GENERAL MANUFACTURING
⑥	KASTER C/O K&J STORAGE PO BOX 550 BURLINGTON, WI 53105	GENERAL MANUFACTURING
⑦	J&J BURLINGTON LLC 775 BAYWOOD DRIVE SUITE 318 PETALUMA, CA 94954	GENERAL MANUFACTURING
⑧	WISCONSIN ELECTRIC PO CO 231 WEST MICHIGAN STREET MILWAUKEE, WI 53201	GENERAL MANUFACTURING
⑨	GARY A HENNING TERRY PICHLER 732 KANE STREET BURLINGTON, WI 53105	GENERAL MANUFACTURING
⑩	FETES TRUST GERALD J & CAROL PO BOX 8 BURLINGTON, WI 53105	GENERAL MANUFACTURING
⑪	SHANNON CLISP LLC PO BOX 222 BURLINGTON, WI 53105	GENERAL MANUFACTURING



LEGEND

M-2	- GENERAL MANUFACTURING
A-1	- AGRICULTURAL/HOLDING

LDV PARKING LOT
BURLINGTON, WI

LYNCH & ASSOCIATES
ENGINEERING CONSULTANTS, LLC

ZONING EXHIBIT

NO. REVISIONS BY DATE

ISSUED FOR REVIEW

PLAN DATE 08.18
DESIGNED BY DKV

0 100'
SCALE

PROJECT NO.
15.038

SHEET NO.

1 OF 1

**NOTICE OF PUBLIC HEARING
FOR AMENDING THE ZONING MAP**

TO WHOM IT MAY CONCERN:

NOTICE is hereby given that the Common Council of the City of Burlington proposes to amend Chapter 315 of the Municipal Code, Zoning Map, as it pertains to:

Owner: Lynch Ventures
Applicant: Kurt Petrie
Applicant Address: 180 Industrial Drive, Burlington, WI 53105
Location of Request: **S. Kane Street (at Industrial Drive)**
Existing Zoning: A-1, Agricultural/Holding District
Proposed Zoning: M-2, General Manufacturing District
Proposed Use: To add a parking lot on vacant land for storage of vehicles produced by LDV

NOTICE IS FURTHER GIVEN that a Public Hearing on the above matter will be held by the Common Council in the City Council Chambers, in the City of Burlington located at 224 E. Jefferson Street on:

**TUESDAY, SEPTEMBER 18, 2018 DURING THE MEETING OF THE COMMON COUNCIL
SCHEDULED TO BEGIN AT 6:30 P.M. OR SHORTLY THEREAFTER**

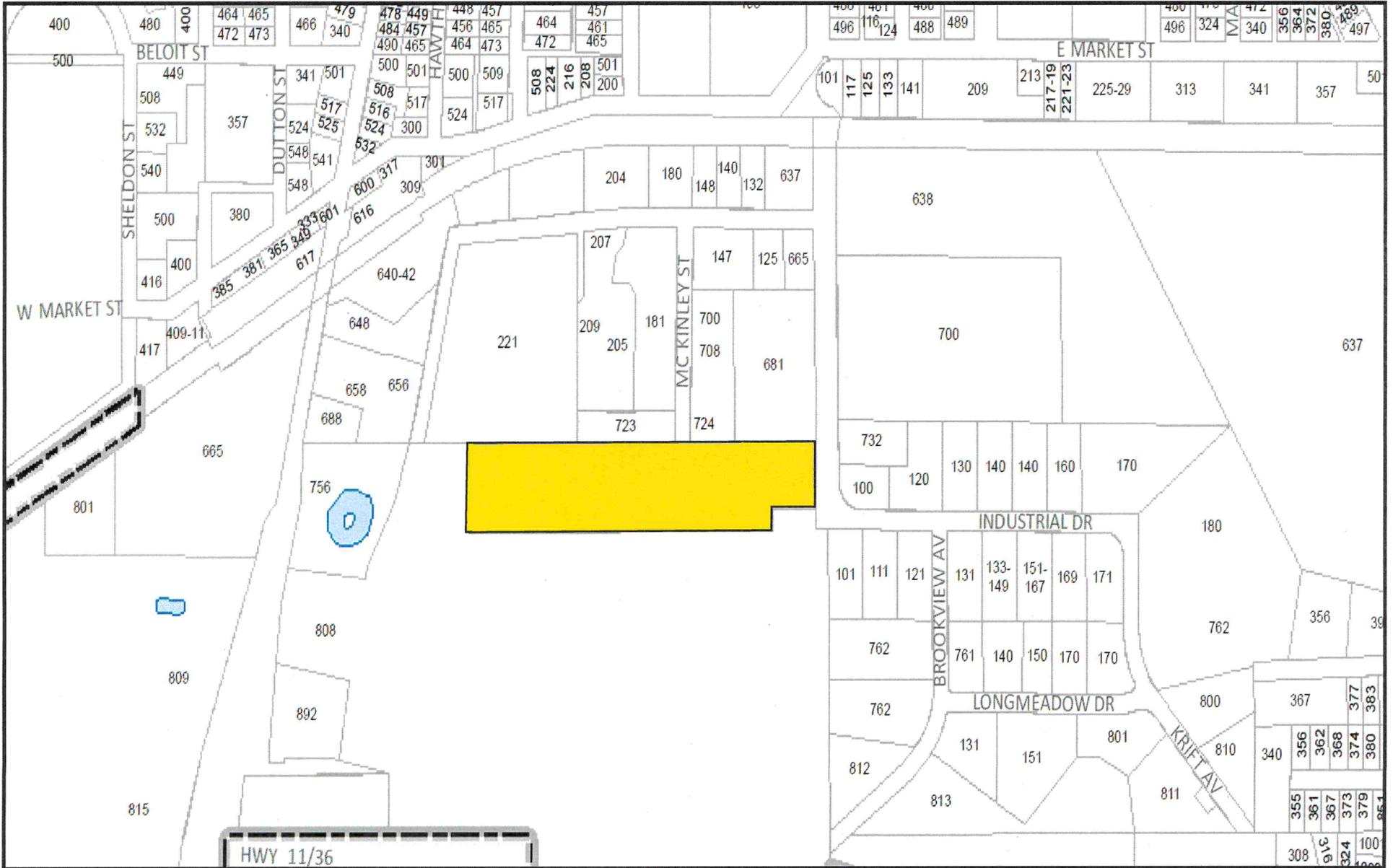
To hear any persons objecting to, or in support thereof, on the above mentioned matter.

CITY OF BURLINGTON

Dated at Burlington, Wisconsin, this 27th day August, 2018.

Diahnn Halbach, City Clerk

Published in the Burlington Standard Press
August 30th, 2018 and September 6th, 2018





PLAN COMMISSION

ITEM NUMBER: 7B

DATE: September 11, 2018

SUBJECT: Consideration to approve a Site Plan application at S. Kane Street (at Industrial Drive).

SUBMITTED BY: Megan Watkins, Assistant Administrator/Zoning Administrator

PROJECT/SCOPE:

This item is to consider approving a Site Plan application from Lynch Ventures, for property located at S. Kane Street (at Industrial Drive). The applicant proposes to develop a parking lot that would be used for truck storage. There is no proposal for a building on the site, and no future to do so. The applicant had confirmed that no exterior lighting will be installed. The landscape plan indicates that there will be no plant materials in the western bufferyard or southern bufferyard to the west of the parking lot. It should be note the plant materials in the eastern bufferyard do not perfectly match the requirements, as it proposes fewer shrubs and more trees. The proposed plant material would create an attractive and effective bufferyard. The applicant had requested that they plant trees in other City locations as a means to bypass the landscape requirements.

ZONING:

The parcel is currently zoned A-1, Agricultural/Holding District. The applicant is requesting to rezone to M-2, General Manufacturing District.

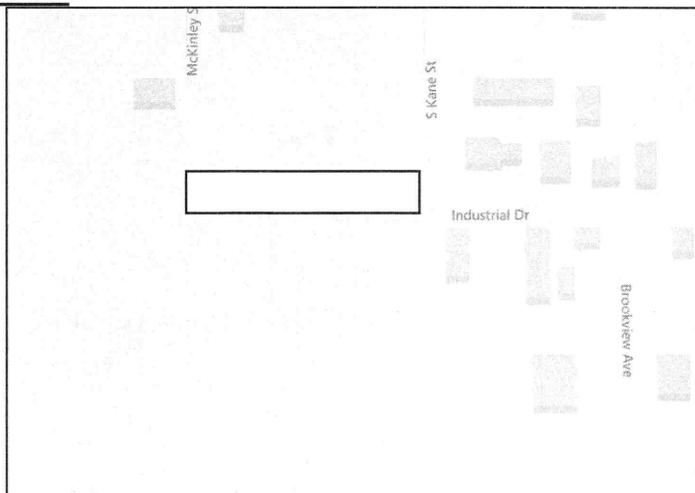
RECOMMENDATION:

Graef recommends a conditional approval of this Site Plan, subject to items listed in their September 7, 2018 memorandums.

TIMING/IMPLEMENTATION:

This item is for consideration at the September 11, 2018 Plan Commission meeting. No further action is necessary.

MAP:





One Honey Creek Corporate Center
125 South 84th Street, Suite 401
Milwaukee, WI 53214-1470
414 / 259 1500
414 / 259 0037 fax
www.graef-usa.com

collaborāte / formulāte / innovāte

MEMORANDUM

TO: Plan Commission
City of Burlington

FROM: GRAEF
Ben Block
Tanya Fonseca, AICP

DATE: September 7, 2018

SUBJECT: Review of a Petition for Rezoning Map Amendment and Site Plan Approval Application from Lynch Ventures, LLC.

A. PURPOSE

Consider for approval a Petition for Rezoning Map Amendment to rezone parcel 206-02-19-05-065-100 from "A-1 Agricultural/Holding" to "M-2 General Manufacturing," and a Site Plan Approval Application for a parking lot for truck storage on that parcel.

B. RECOMMENDATION

Based upon the review of the submitted materials, GRAEF recommends the following:

1. The Petition for Rezoning Map Amendment from Lynch Ventures, LLC be **APPROVED.**
2. The Site Plan Approval Application from Lynch Ventures, LLC be **CONDITIONALLY APPROVED** with the following conditions:
 - The Applicant resubmits a landscaping plan that fully complies with the requirements of §315-51. Please see section G.

C. BACKGROUND

Lynch Ventures, LLC submitted two applications to rezone parcel 206-02-19-05-065-100 from the A-1 district to the M-2 district, and to develop a parking lot on the property. The proposed parking lot would be used for truck storage. There is not a proposal for a building on the site, and no future to do so.

The Applicant submitted the following materials:

- Site Plan
- Grading Plan
- Erosion Control Plan
- Stormwater Basin Details
- Construction Details
- Landscape Plan

D. COMPLIANCE WITH BURLINGTON ZONING CODE ARTICLE XII: CHANGES AND AMENDMENTS

This section of the Burlington Zoning Code governs changes and amendments to the district boundaries within the City. The proposed map amendment is compliant with the administrative requirements outlined in this section.

Zoning changes and amendments must be compatible with the surrounding context, as well as consistent with the City's future land use plan. The proposed map amendment is compatible with the surrounding context, as it would extend the existing business park properties that are zoned "M-2 General Manufacturing," and is consistent with the City's future land use plan, which designates the majority of the target parcel as "industrial/business park."

It should be noted that a portion of the target parcel has been designated as a primary environmental corridor by SEWRPC. Though the City of Burlington does not have regulations that relate to primary environmental corridors, it is recommended that Plan Commission consider this context when evaluating the proposed site plan and the related landscaping requirements.

E. COMPLIANCE WITH BURLINGTON §315-31 "M-2 GENERAL MANUFACTURING DISTRICT"

This section of the Burlington Zoning Code governs development in the M-2 district.

The proposed site plan indicates this property will be used for truck storage, which is a permitted use of the M-2 district.

The proposed site plan is compliant with the lot area, building height, and setback requirements of the M-2 district.

The submitted materials did not include an exterior lighting plan for this development – the Applicant has confirmed that no exterior lighting will be installed.

F. COMPLIANCE WITH BURLINGTON §315-48 "PARKING REQUIREMENTS" AND §315-52 "LANDSCAPING"

These sections of the Burlington Zoning Code provide requirements for off-street parking areas and landscape requirements in the bufferyards.

The proposed landscape plan indicates that the majority of these requirements are satisfied, with the exception of the following:

- The landscape plan indicates that there will be no plant materials in the western bufferyard.
- The landscape plan indicates that there will be no plant materials in the southern bufferyard to the west of the parking lot.

Per §315-52(H), plant materials are required in all of the above bufferyards, and these bufferyards must extend to the full boundaries of the property.

It should be noted that the plant materials in the eastern bufferyard do not perfectly match the requirements of Table 8, as it proposes fewer shrubs than required and more trees than required. It is our opinion that the proposed plant materials would create an attractive and effective bufferyard.

G. APPLICANT REQUEST REGARDING LANDSCAPING REQUIREMENTS

The Applicant has requested that they plant trees in other City locations as a means to bypass the landscape requirements of §315-52. Any negotiations with respect to these requirements should be conducted between the Applicant and the Plan Commission.



Fire Department

165 W. Washington Street, Burlington, WI 53105
(262) 763-7842 – (262) 767-8602 fax
www.burlington-wi.gov

MEMORANDUM

TO: Plan Commission
City of Burlington

FROM: City of Burlington Fire Department
Alan Babe, Fire Chief
Wes Miner, Fire Inspector

DATE: September 6, 2018

SUBJECT: Site Plan Application for Lynch Ventures property located at S. Kane Street.

A. PURPOSE

Review a Site Plan Application for Lynch Ventures property located at S. Kane Street.

B. RECOMMENDATION

Based upon the review of the submitted materials, the City of Burlington Fire Department has no comments regarding the subject matter.



CITY OF BURLINGTON

Building & Zoning Department
300 N. Pine Street, Burlington, WI, 53105
(262) 342-1163 – (262) 763-3474 fax
www.burlington-wi.gov

SITE PLAN APPROVAL APPLICATION

REVIEW: \$500.00 Deposit +/- Actual Cost

FOR OFFICE USE ONLY	
DATE FILED:	<u>8/9/18</u>
RECEIVED BY:	<u>KA</u> (Initials)
AMT. PAID:	<u>500</u>

APPLICANT: Lynch Ventures LLC

ADDRESS: 2300 Browns Lake Drive PHONE NO. 262.7164003 FAX NO. _____

OWNER: same

ADDRESS: same PHONE NO. same FAX NO. _____

SITE ADDRESS: 26-02-19-05-065-100

PROPOSED USE: truck storage PRESENT ZONING: A1

LEGAL DESCRIPTION: Attached on site plan
(Attach full legal description if needed)

**THE SITE PLAN MUST INCLUDE THE FOLLOWING INFORMATION
(PLEASE LIST ANY ADDITIONAL INFORMATION WHERE APPLICABLE):**

- Site plan drawn to a recognized engineering or architectural scale with graphic scale, shown as well as the date of drawing and the north arrow shown.
- Project title and owner's/developer's name and address noted.
- Architect's and/or engineer's name and address noted.
- Property boundaries and dimensions.
- M2 Abutting property zoning classifications.
- na General description of building materials, façade and roof detail.
- Setback lines indicated.
- n/a Easements for access, if any.
- n/a 100-year floodplain identification.
- Existing and proposed topography show at a contour interval of not less than two feet, indicating proposed grade and location of improvements.
- na Signage and outdoor lighting – proposed location and details.
- na Total number of employees: _____ and Hours of operation 6AM-8PM

n/a Total no. of parking spaced noted. No. of parking spaces provided: _____. Calculations used to arrive at the no. of spaces: _____.

n/a Type, size and location of all structures with all building dimensions shown.

n/a Locate existing and general location of proposed sanitary sewers, storm sewers and watermains.

Locate any proposed stormwater management facilities, including detention/retention areas. The City of Burlington has a stormwater ordinance in effect.

Note location, extent and type of proposed landscaping and landscaping plantings and buffers to adjacent property, including fencing or other screening.

n/a Note, location of pedestrian sidewalks and walkways.

n/a Graphic outline of any development staging that is planned.

Driveway locations and sizes.

n/a Handicap accessibility.

n/a List environmental concerns, i.e. odor, smoke, noise.

Owner: Lynch Ventures LLC

Date: 8/10/18


Owner: _____
(Signature)

Applicant: Lynch Ventures

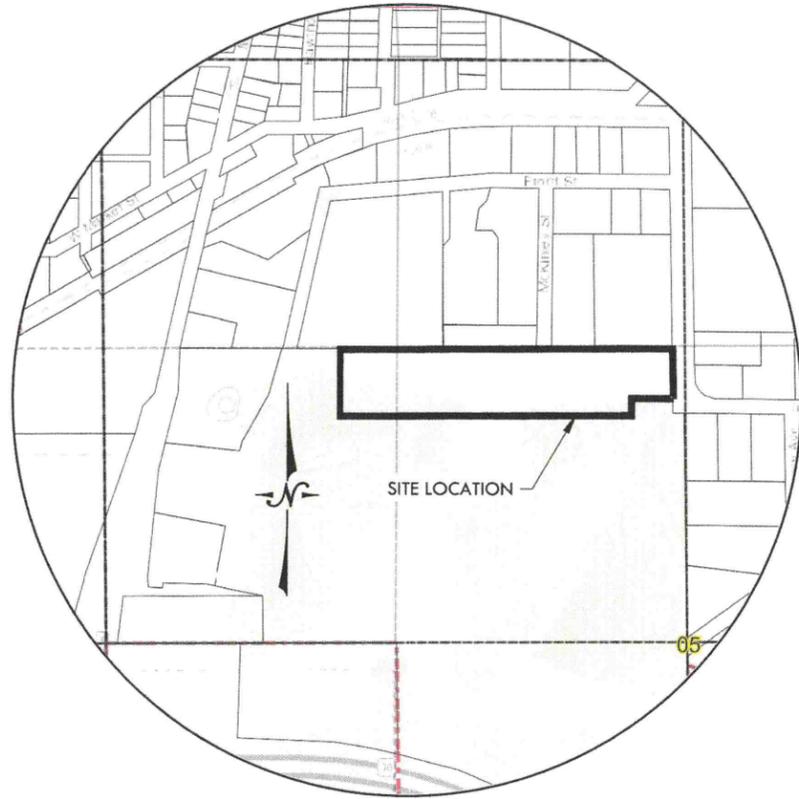
Date: 8/10/18

(Print)

Applicant: _____
(Signature)

Zoning Administrator: 
(Signature)

Date: 9/1/18



VICINITY MAP

SHEET INDEX

- C001 TITLE SHEET & VICINITY MAP
- C002 GENERAL NOTES & SPECIFICATIONS
- C101 SITE PLAN
- C102 GRADING PLAN
- C103 EROSION CONTROL PLAN
- C401 STORM WATER BASIN DETAILS
- C501 CONSTRUCTION DETAILS
- C502 CONSTRUCTION DETAILS

DESIGN PLANS FOR LDV PARKING LOT

CITY OF BURLINGTON, RACINE COUNTY, WISCONSIN

DESIGN PLANS FOR
LDV PARKING LOT
 CITY OF BURLINGTON, RACINE COUNTY, WISCONSIN
LYNCH & ASSOCIATES
 ENGINEERING CONSULTANTS, LLC

BENCHMARKS

FOUND IRON PIPE	799.28	163718.2460	507140.5110
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CONTACT INFORMATION

COMPANY NAME	ADDRESS	CONTACT	PHONE	EMAIL
LYNCH & ASSOCIATES	S. WESTRIDGE DR. NEW BERLIN, WI 12345	TIMOTHY LYNCH, P.E.	262.402.5040	tlynch@lynch-engineering.com

REVISIONS

NO.	REVISION	DATE
-	-	00.00.00

ISSUED FOR REVIEW

PLAN DATE 07.18

PROJECT NO.
15.038

SHEET NO.

C001

GENERAL NOTES

- THE CONTRACTOR IS SPECIFICALLY CAUTIONED THAT THE LOCATION AND/OR ELEVATION OF EXISTING UTILITIES AS SHOWN ON THESE PLANS IS BASED ON RECORDS OF VARIOUS UTILITY COMPANIES AND WHERE POSSIBLE, MEASUREMENTS TAKEN IN THE FIELD. THE INFORMATION IS NOT TO BE RELIED ON AS BEING EXACT OR COMPLETE. THE CONTRACTOR MUST CALL THE APPROPRIATE UTILITY COMPANY AT LEAST 48 HOURS BEFORE ANY EXCAVATION TO REQUEST EXACT FIELD LOCATION OF UTILITIES. IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO RELOCATE ALL EXISTING UTILITIES WHICH CONFLICT WITH THE PROPOSED IMPROVEMENTS SHOWN ON THE PLANS.
- ALL PIPE LENGTHS ARE MEASURED TO CENTER OF STRUCTURE AND MEASURED HORIZONTALLY. THE CONTRACTOR IS RESPONSIBLE FOR MAKING NECESSARY ADJUSTMENTS FOR SLOPES AND STRUCTURES.
- DETAILS OF CONSTRUCTION NOT SHOWN ON THIS DRAWING SHALL CONFORM TO THE PERTINENT REQUIREMENTS OF THE WISCONSIN DEPARTMENT OF NATURAL RESOURCES CONSERVATION PRACTICE STANDARDS.
- WHEN POSSIBLE, THE SILT FENCE SHOULD BE CONSTRUCTED IN AN ARC OR HORSESHOE SHAPE WITH ENDS POINTING UPSLOPE TO MAXIMIZE BOTH STRENGTH AND EFFECTIVENESS.
- CONTRACTOR SHALL CHECK ALL EROSION CONTROL MEASURES EVERY SEVEN DAYS OR WITHIN 24 HOURS AFTER EACH 0.5 INCH RAINFALL AND PROVIDE ANY MAINTENANCE REQUIRED FOR CONFORMANCE WITH THIS PLAN. CONTRACTOR SHALL MAINTAIN LOG OF INSPECTIONS WHICH SHALL BE KEPT ON-SITE.
- A MINIMUM OF 4 INCHES OF TOPSOIL SHALL BE PLACED ON AREAS TO BE VEGETATED.
- SEEDING SHALL BEGIN WITHIN 7 DAYS AFTER FINAL GRADING IS COMPLETED.
- SEEDING SHALL CONFORM TO THE REQUIREMENTS OF SECTION 630 OF WISDOT STANDARD SPECIFICATIONS FOR ROAD AND BRIDGE CONSTRUCTION. A NO. 40 MIXTURE SHALL BE APPLIED AT A RATE OF 2 POUNDS PER 1000 S.F.
- PLACE MULCH AND TACKIFIER ON THE SEEDED AREAS.
- DISTURBED AREAS LEFT INACTIVE FOR SEVEN OR MORE DAYS SHALL BE STABILIZED WITH TEMPORARY SEED AND MULCH, OR WISDOT-APPROVED POLYMER.
- TEMPORARY SEEDING: ANNUAL RYE GRASS AT 25 LBS/ACRE
LATE SEASON TEMPORARY SEEDING (SEPT. 15 TO OCT. 15): WINTER WHEAT AT 2 BUSHELS/ACRE
DORMANT SEEDING (AFTER NOV. 1): 10 MIXTURE AT 4 POUNDS PER 1000 S.F.
- POLYMER MUST BE APPLIED TO ALL DISTURBED AREAS IF SEEDING IS NOT COMPLETED BY OCTOBER 15.
- IF DEWATERING IS NECESSARY, DIRECT DISCHARGE INTO THE SEDIMENT BASIN. THE MAXIMUM PUMPING RATE INTO THE POND IS 200 GPM. ALTERNATE DEWATERING OPERATIONS MUST BE PERFORMED IN ACCORDANCE WITH WDNR TECHNICAL STANDARD 1061 "DEWATERING".
- TOPSOIL PILES LEFT IN PLACE FOR LONGER THAN 14 DAYS MUST BE STABILIZED WITH TEMPORARY SEEDING.
- EROSION CONTROL MEASURES ARE TO REMAIN IN PLACE UNTIL THE SITE IS STABILIZED.
- RECYCLE OR PROPERLY DISPOSE OF ALL WASTE AND UNUSED BUILDING MATERIALS IN A TIMELY MANNER. CONTROL RUNOFF FROM WASTE MATERIALS UNTIL THEY ARE REMOVED OR REUSED.
- BY THE END OF EACH WORKDAY, CLEAN UP ALL OFF-SITE SEDIMENT DEPOSITS OR TRACKED SOIL THAT ORIGINATED FROM THE PERMITTED SITE. FLUSHING SHALL NOT BE ALLOWED UNLESS RUNOFF IS TREATED BEFORE DISCHARGE FROM THE SITE.

CONSTRUCTION SEQUENCE

- CONSTRUCT STONE TRACKING PAD AT THE PROPOSED ENTRANCE.
- INSTALL SILT FENCE AT THE LOCATIONS NOTED ON THE PLANS. THIS MUST BE DONE BEFORE ANY GRADING ACTIVITIES TAKE PLACE.
- TOPSOIL IS TO BE STRIPPED AND STOCKPILED. THE STOCKPILE IS TO BE PROTECTED WITH SILT FENCE WITHIN 7 DAYS AND SEEDED WITHIN 30 DAYS OF LAYUP.
- ROUGH GRADING MAY TAKE PLACE AFTER TOPSOIL STRIPPING.
- PERMANENT SEEDING TO BE COMPLETED BY OCTOBER 15TH OF THE YEAR GRADING WORK IS COMPLETED OR BY JUNE 1ST OF THE FOLLOWING YEAR.

CONSTRUCTION NOTES FOR INFILTRATION BASIN

- EXCAVATION MUST BE DONE BY LIGHT EARTH MOVING EQUIPMENT ONLY. BULLDOZERS ARE RECOMMENDED FOR THIS WORK. SCRAPERS SHALL NOT BE USED TO EXCAVATE THE BASIN. CONTRACTOR SHALL TAKE CARE NOT TO COMPACT THE SITE DURING CONSTRUCTION.
- INITIAL GRADING FOR THE INFILTRATION BASIN SHALL BE TO AN ELEVATION OF 784.5 (SIX INCHES ABOVE FINISHED GRADE). THE BASIN IS TO REMAIN AT THIS ELEVATION UNTIL THE TRIBUTARY AREA IS STABILIZED WITH VEGETATION AND/OR EROSION MAT.
- SEDIMENT ACCUMULATED DURING CONSTRUCTION MUST BE REMOVED PRIOR TO COMPACTION MITIGATION.
- COMPACTION MITIGATION MUST BE PERFORMED PRIOR TO SEEDING THE BOTTOM OF THE BASIN. THE MITIGATION SHALL CONSIST OF CHISEL PLOWING TO A DEPTH OF 12 INCHES A MIXTURE OF 2 INCHES OF COMPOST AND 2 INCHES OF TOPSOIL. COMPOST SHALL MEET THE REQUIREMENTS OF THE WDNR S100 COMPOST SPECIFICATION.
- THE BOTTOM OF THE BASIN IS TO BE SEEDED WITH PRAIRIE GRASS. THE OWNER IS RESPONSIBLE FOR THE ESTABLISHMENT OF THE PRAIRIE GRASSES IN ACCORDANCE WITH THE PLANTING PLAN. THE SEED MIX SHALL CONSIST OF TWO OR MORE OF THE FOLLOWING GRASSES: CANADA WILD RYE, FOWL MANNA GRASS, VIRGINIA WILD RYE, BIG BLUESTEM & INDIAN GRASS. THE EXACT MIX WILL BE DETERMINED BASED ON THE AVAILABILITY AT LOCAL SUPPLIERS.

UTILITY CONTACT INFORMATION

COMPANY NAME	ADDRESS	CONTACT	PHONE	EMAIL
WE ENERGIES	700 S. KANE STREET, BURLINGTON, WI 53105	TRACY ZWIBEL	262-763-1044	tracy.zwibel@we-energies.com
CITY OF BURLINGTON	2200 S. PINE STREET, BURLINGTON, WI 53105	PETER RIGGS	262-342-1182	priggs@burlington-wi.com

PAVING

- THE PROPOSED IMPROVEMENTS SHALL BE CONSTRUCTED ACCORDING TO THE WISCONSIN D.O.T. SPECIFICATIONS FOR HIGHWAY AND STRUCTURE CONSTRUCTION, LATEST EDITION, AND THE LOCAL ORDINANCES AND SPECIFICATIONS.
- PAVING SHALL CONSIST OF FINE GRADING PAVEMENT AREAS, INSTALLATION OF CRUSHED STONE BASE, BITUMINOUS PAVEMENT AND CLEANUP. ALL MATERIALS SHALL BE PROVIDED BY THE CONTRACTOR.
- AGGREGATES USED IN THE CRUSHED AGGREGATE BASE SHALL BE 1-1/4 INCH DENSE GRADED BASE IN ACCORDANCE WITH SUBSECTION 305.2.2 OF THE STANDARD SPECIFICATIONS. BASE COURSE IS TO BE OBTAINED FROM MATERIALS CRUSHED ON SITE.
- HOT MIX ASPHALT PAVEMENT (HMA) BINDER COURSE SHALL BE 3 LT 58-28 S IN ACCORDANCE WITH SECTION 460 OF THE STANDARD SPECIFICATIONS.
- HOT MIX ASPHALT PAVEMENT (HMA) SURFACE COURSE SHALL BE 5 LT 58-28 S IN ACCORDANCE WITH SECTION 460 OF THE STANDARD SPECIFICATIONS.
- HOT MIX ASPHALT MATERIALS AND CONSTRUCTION SHALL CONFORM TO THE REQUIREMENTS OF THE LATEST EDITION OF THE WISCONSIN DEPARTMENT OF TRANSPORTATION (WDOT) SPECIFICATIONS, SECTIONS 450, 455 AND 460. ADDITIONALLY, MATERIALS AND CONSTRUCTION SHALL ALSO CONFORM TO THE REQUIREMENTS OF THE CURRENT WDOT ASP 6, 460.2.1, WHICH INCLUDES THE REGRESSION OF AIR VOIDS FROM 4.0% TO 3.0% WITH ASPHALT CEMENT. OMITTED FROM THE REQUIREMENTS WILL BE RIDE QUALITY REQUIREMENTS AND TESTING (SECTION 440), QMP MIXTURE SAMPLING AND TESTING (SECTION 460.2.8), NUCLEAR DENSITY TESTING (SECTION 460.3.3), PG BINDER AND TACK COAT SAMPLING AND TESTING (SECTION 455.2.2 AND 455.2.3), COLD WEATHER PAVING (SECTION 450.3.2.1) AND SAFETY EDGE (SECTION 450.3.2.11).
- TACK COAT SHALL BE IN ACCORDANCE WITH SUBSECTION 455.2.5 OF THE STANDARD SPECIFICATIONS. THE RATE OF APPLICATION SHALL BE 0.025 GAL/SY.

EROSION CONTROL NOTES

- DETAILS OF CONSTRUCTION NOT SHOWN ON THIS DRAWING SHALL CONFORM TO THE PERTINENT REQUIREMENTS OF THE WISCONSIN DEPARTMENT OF NATURAL RESOURCES CONSERVATION PRACTICE STANDARDS.
- CONSTRUCT SILT FENCE IN ACCORDANCE WITH WDNR TECHNICAL STANDARD 1056.
- CONTRACTOR SHALL CHECK ALL EROSION CONTROL MEASURES EVERY SEVEN DAYS OR WITHIN 24 HOURS AFTER EACH 0.5 INCH RAINFALL AND PROVIDE ANY MAINTENANCE REQUIRED FOR CONFORMANCE WITH THIS PLAN. CONTRACTOR SHALL MAINTAIN LOG OF INSPECTIONS WHICH SHALL BE KEPT ON-SITE.
- A MINIMUM OF 4 INCHES OF TOPSOIL SHALL BE PLACED ON AREAS TO BE VEGETATED.
- SEEDING SHALL BEGIN WITHIN 7 DAYS AFTER FINAL GRADING IS COMPLETED.
- PLACE MULCH AND TACKIFIER ON THE SEEDED AREAS.
- PLACE MULCH ON ALL SLOPES OF 4:1 OR GREATER IN ACCORDANCE WITH SECTION 627, METHOD A, OF WISDOT STANDARD SPECIFICATIONS.
- ANY DISTURBED AREAS LEFT OPEN FOR MORE THAN 30 DAYS WILL REQUIRE TEMPORARY STABILIZATION. REFER TO WDNR STANDARD 1059, SECTION 3 "CONDITIONS WHERE PRACTICE APPLIES".
- TEMPORARY SEEDING: ANNUAL RYE GRASS AT 25 LBS/ACRE
LATE SEASON TEMPORARY SEEDING (SEPT. 15 TO OCT. 15): WINTER WHEAT AT 2 BUSHELS/ACRE
DORMANT SEEDING (AFTER NOV. 1): 10 MIXTURE AT 4 POUNDS PER 1000 S.F.
- POLYMER MUST BE APPLIED TO ALL DISTURBED AREAS IF SEEDING IS NOT COMPLETED BY OCTOBER 15.
- TOPSOIL PILES LEFT IN PLACE FOR LONGER THAN 14 DAYS MUST BE STABILIZED WITH TEMPORARY SEEDING.
- EROSION CONTROL MEASURES ARE TO REMAIN IN PLACE UNTIL THE SITE IS STABILIZED.



LEGEND

EXISTING	PROPOSED
	CITY-VILLAGE LIMITS
	BENCHMARK
	CHISELED CROSS
	CONTROL POINT
	FOUND 5/8" IRON BAR
	FOUND 1" IRON PIPE
	MONUMENT - CONCRETE W/ BRASS CAP
	PK NAIL - FOUND SPIKE
	RECORD AS
	SET 5/8"x18" IRON 1.13#/L.F.
	SET IRON PIPE
	WITNESS MONUMENT
	TREELINE
	BUSH
	TREE - CONIFEROUS
	TREE - DECIDUOUS
	TREE - GENERAL
	FLOODPLAIN LINE
	WETLAND BOUNDARY
	WETLAND SYMBOL
	SOIL BORING
	TEST PIT
	ROAD CENTER LINE
	DITCH CENTER LINE
	FENCE - BARBED WIRE
	FENCE - CHAIN LINK
	GUARDRAIL
	RETAINING WALL
	BOLLARD
	DETECTABLE WARNING FIELD
	HANDICAP SYMBOL
	FLAG POLE
	MAILBOX
	SIGN
	STORM SEWER
	MANHOLE - STORM
	STORM INLET - CURB
	STORM INLET - BEEHIVE
	STORM INLET - SQUARE
	END SECTION
	SANITARY
	SANITARY FORCE MAIN
	MANHOLE - SANITARY
	CLEAN OUT
	SEPTIC TANK COVER
	SEPTIC VENT
	WATER MAIN
	MANHOLE - WATER MAIN
	CURB STOP
	HYDRANT
	WATER MAIN VALVE
	WELL
	WATER MAIN BACK FLOW PREVENTER
	GAS LINE
	MANHOLE - GAS
	GAS VALVE
	GAS LINE MARKER
	ELECTRIC
	MANHOLE - ELECTRIC
	ELECTRICAL TRANSFORMER
	POWER POLE
	GUY WIRE
	LIGHT POLE
	PULL BOX
	OVERHEAD UTILITY
	UTILITY PEDESTAL
	CABLE TELEVISION
	CABLE TV BOX
	TELEPHONE
	TELEPHONE PEDESTAL
	FIBER OPTIC
	MANHOLE
	CONSTRUCTION LIMITS
	INLET PROTECTION
	SILT FENCE

DESIGN PLANS FOR
LDV PARKING LOT
CITY OF BURLINGTON, RACINE COUNTY, WISCONSIN
LYNCH & ASSOCIATES
ENGINEERING CONSULTANTS, LLC

GENERAL NOTES & SPECIFICATIONS

REVISIONS BY DATE

ISSUED FOR REVIEW

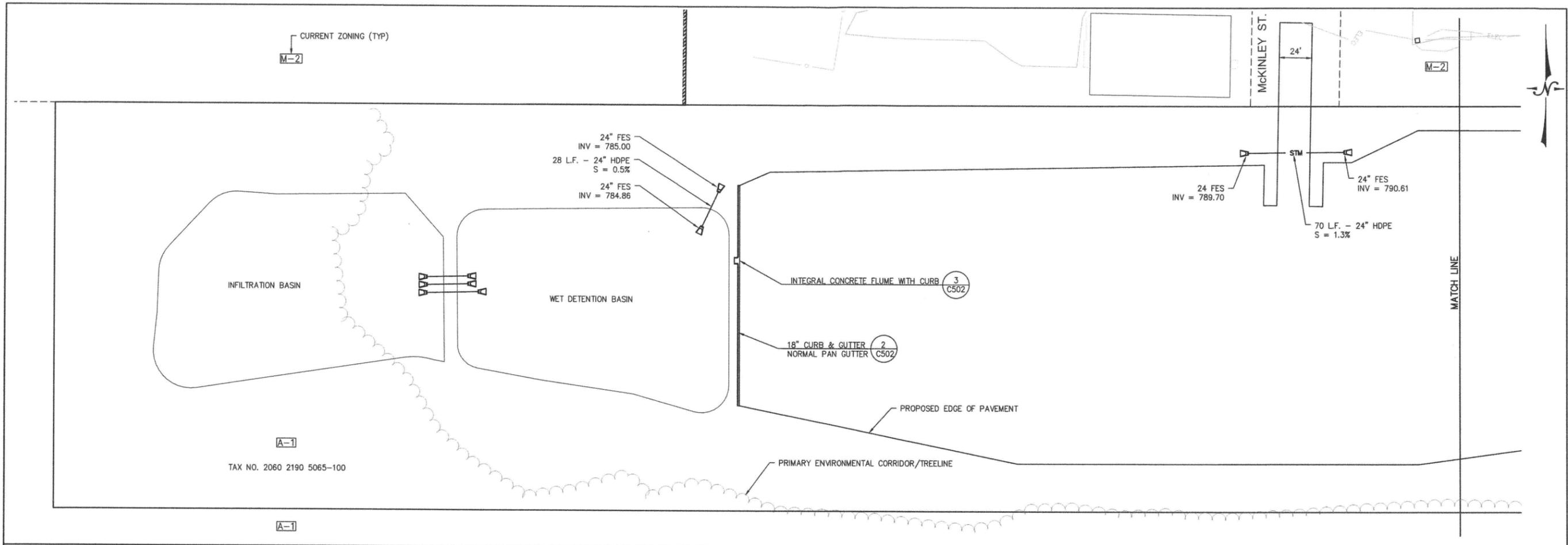
PLAN DATE 07.18
DESIGNED BY DV

0 N/A
SCALE

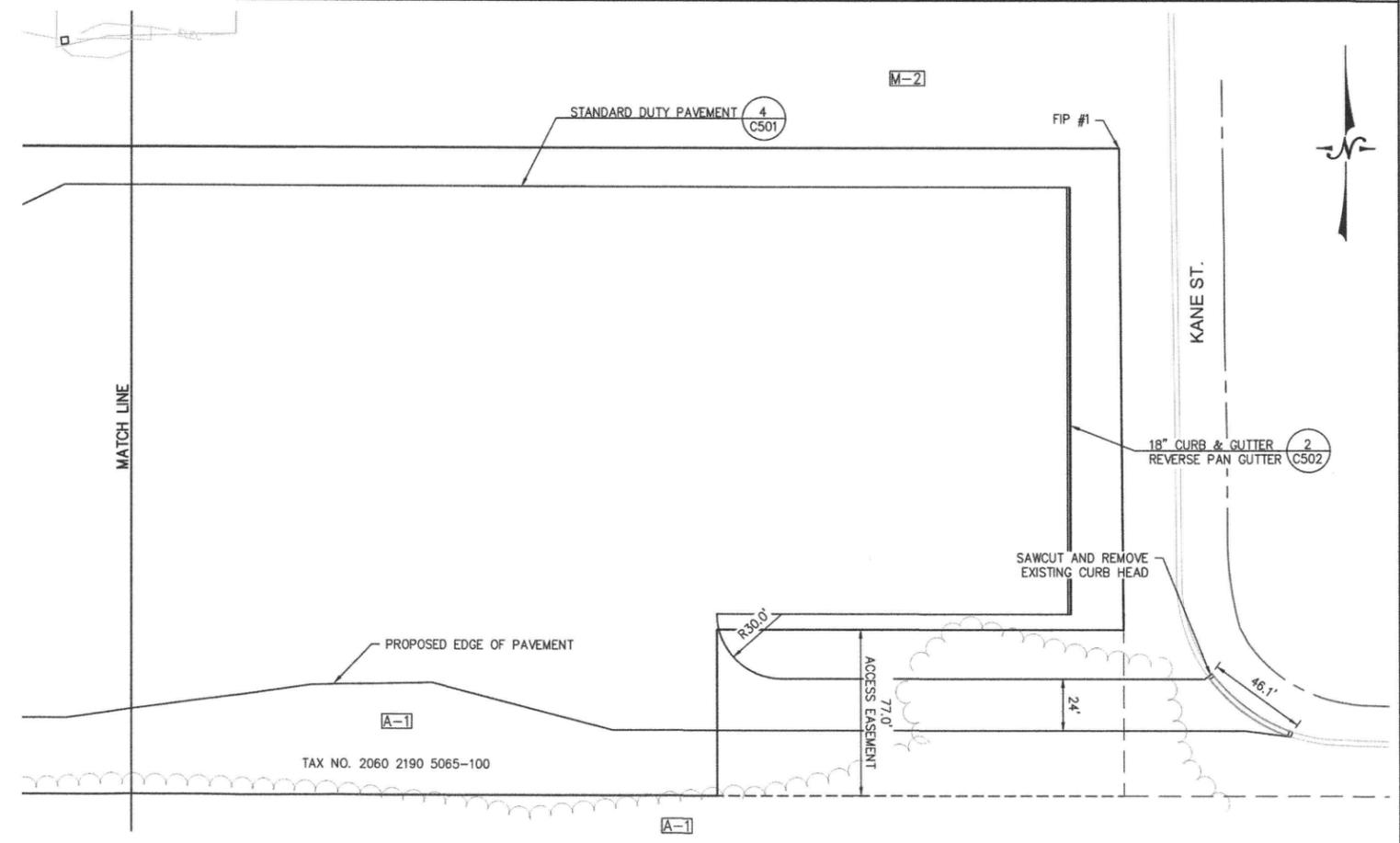
PROJECT NO.
15.038

SHEET NO.

C002



- NOTES:
1. CURRENT ZONING IS A-1.
 2. THIS PARCEL IS NOT IN A FLOOD HAZARD ZONE PER FEMA MAP 55101C0142D, DATED MAY-2-2012.



DESIGN PLANS FOR
LDV PARKING LOT
 CITY OF BURLINGTON, RACINE COUNTY, WISCONSIN
LYNCH & ASSOCIATES
 ENGINEERING CONSULTANTS, LLC

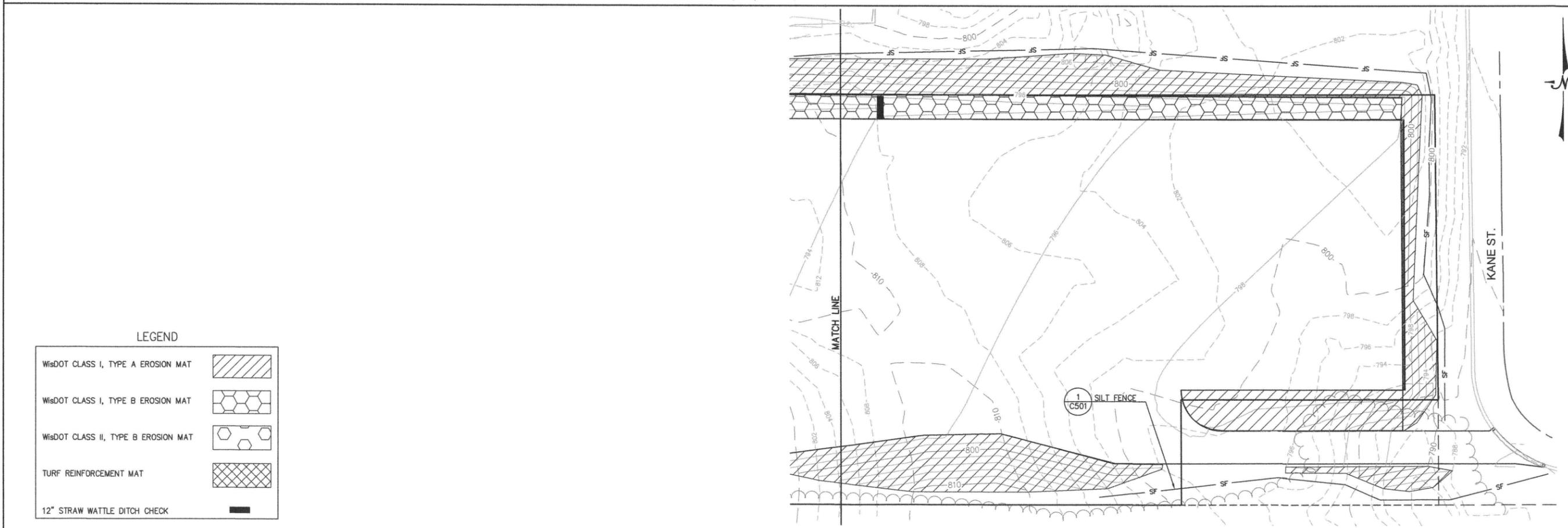
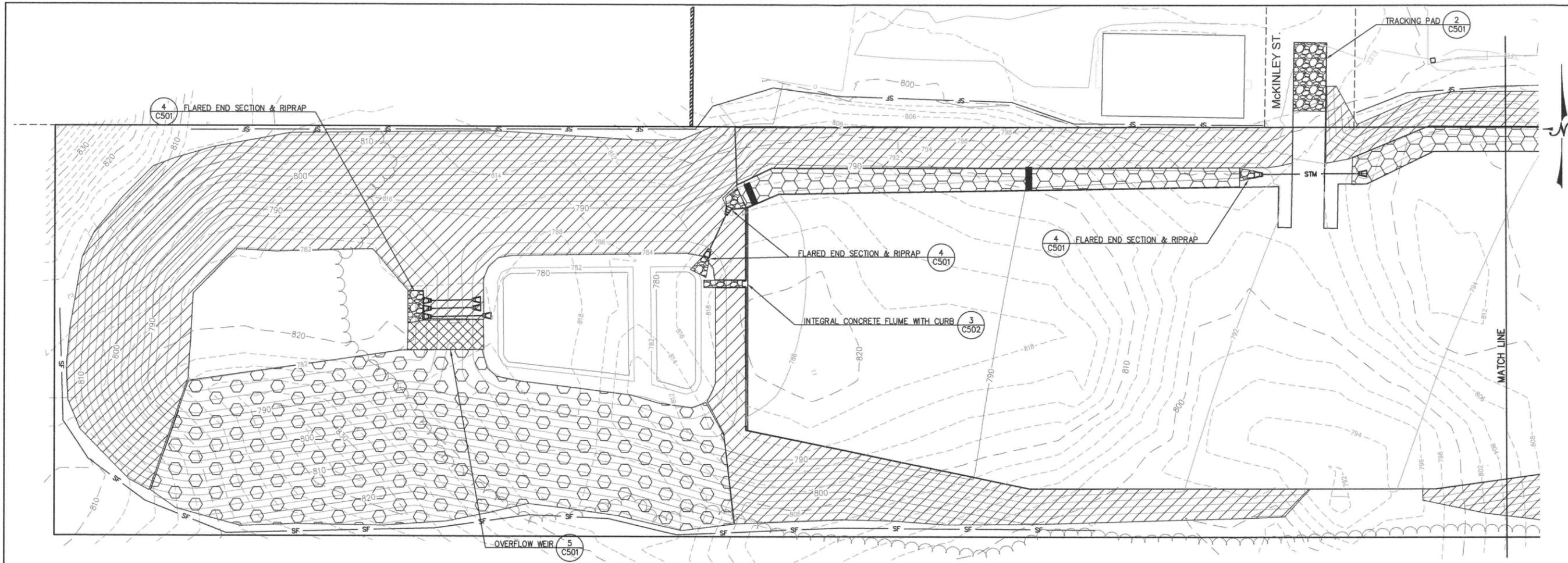
SITE PLAN	NO.	BY	DATE

ISSUED FOR REVIEW

PLAN DATE 07.18
 DESIGNED BY DV
 SCALE
 0 40'
 CHECKED

PROJECT NO.
15.038
 SHEET NO.

C101



LEGEND

WisDOT CLASS I, TYPE A EROSION MAT	
WisDOT CLASS I, TYPE B EROSION MAT	
WisDOT CLASS II, TYPE B EROSION MAT	
TURF REINFORCEMENT MAT	
12" STRAW WATTLE DITCH CHECK	

DESIGN PLANS FOR
LDV PARKING LOT
 CITY OF BURLINGTON, RACINE COUNTY, WISCONSIN
LYNCH & ASSOCIATES
 ENGINEERING CONSULTANTS, LLC

EROSION CONTROL PLAN

NO.

REVISIONS

ISSUED FOR REVIEW

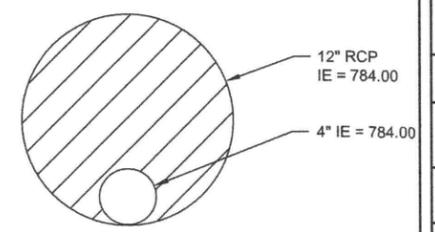
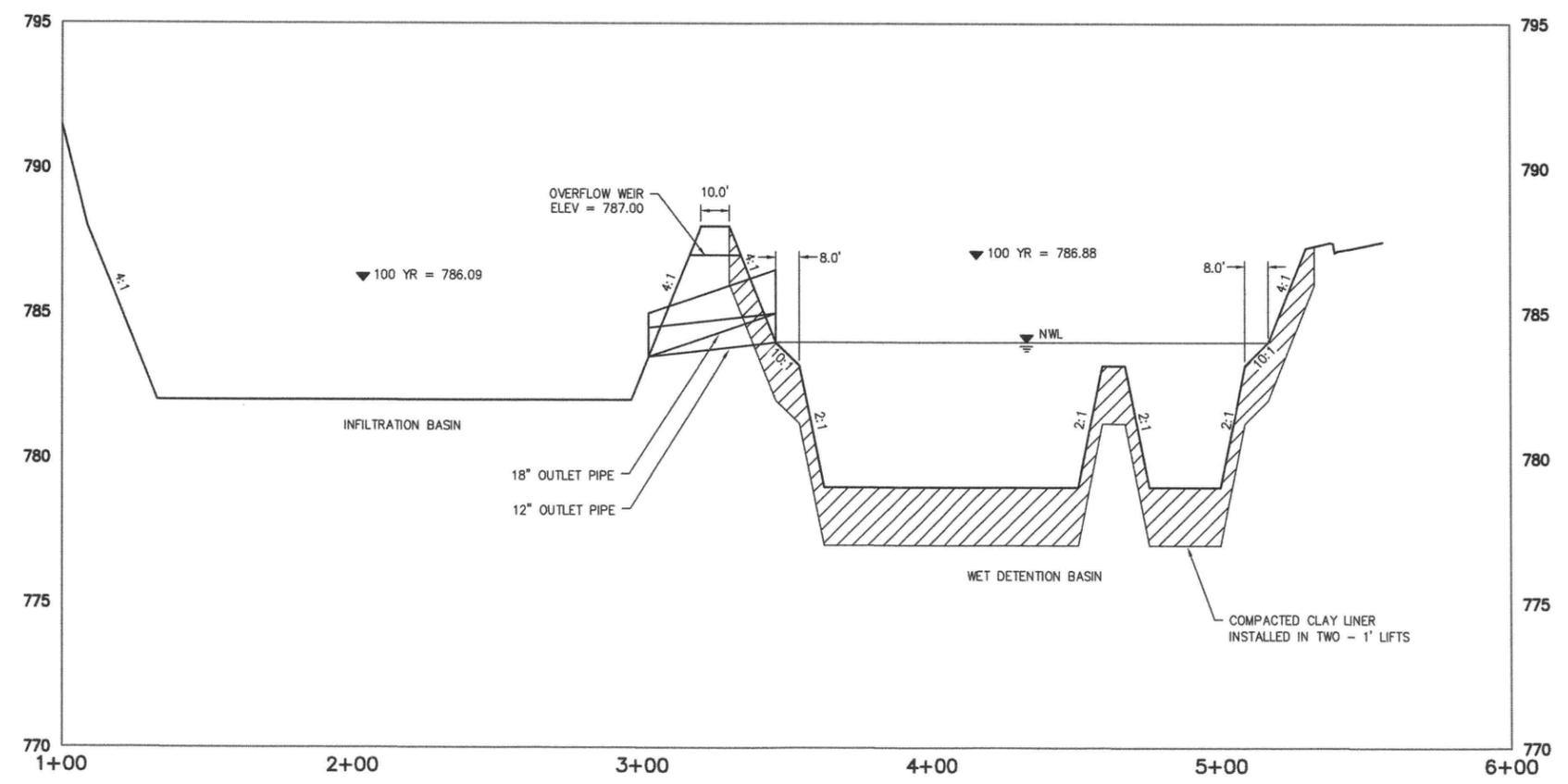
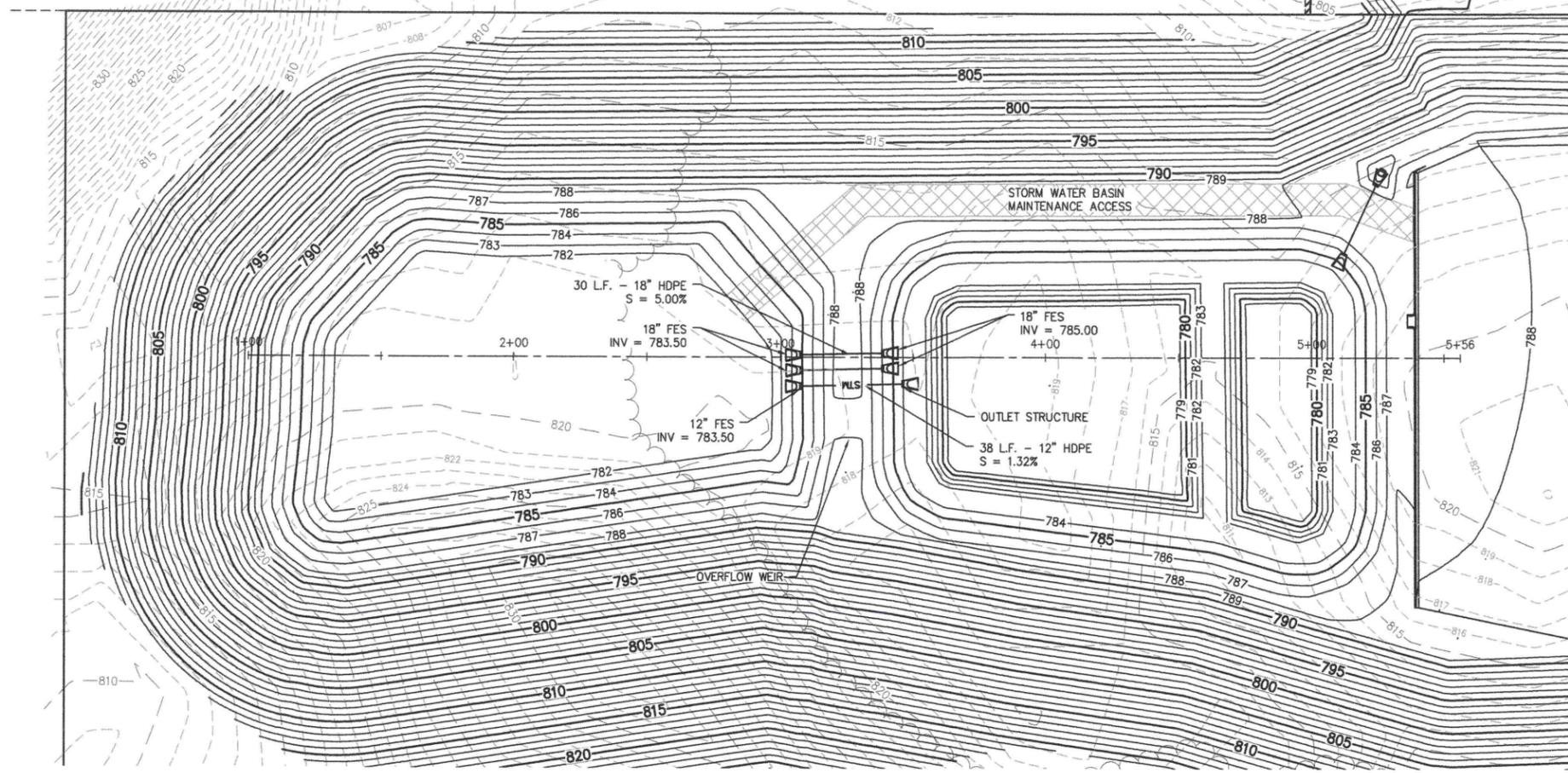
PLAN DATE 07.18
 DESIGNED BY DV

0 40'
 SCALE

PROJECT NO.
15.038

SHEET NO.

C103



OUTLET STRUCTURE DETAIL

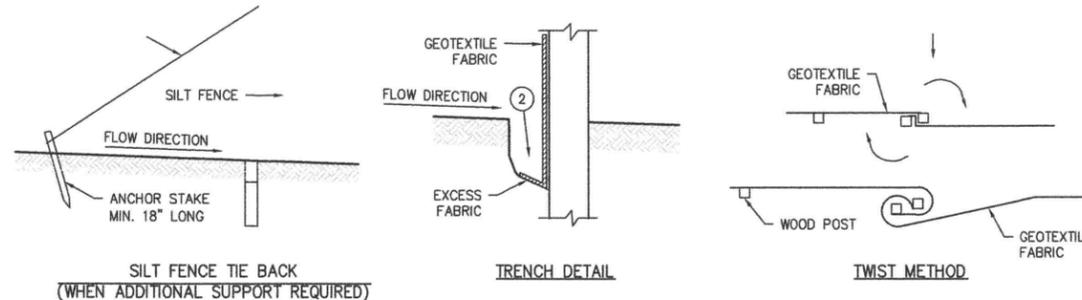
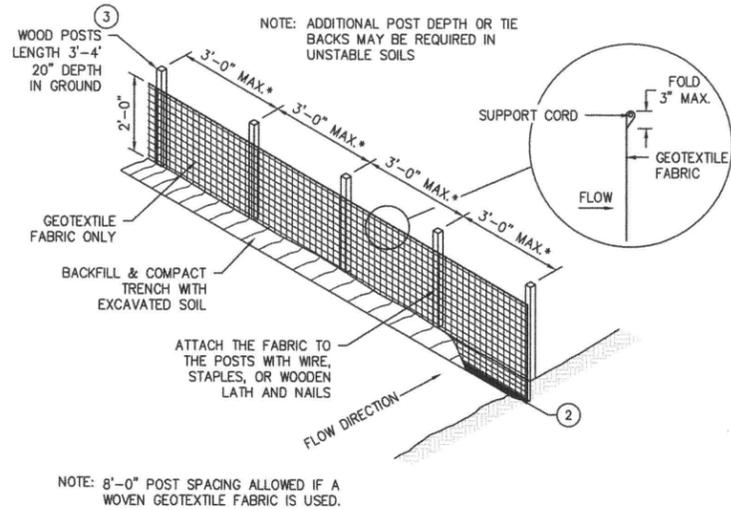
DESIGN PLANS FOR
LDV PARKING LOT
 CITY OF BURLINGTON, RACINE COUNTY, WISCONSIN
LYNCH & ASSOCIATES
 ENGINEERING CONSULTANTS, LLC

STORMWATER BASIN DETAILS	
NO.	REVISIONS
BY	DATE

ISSUED FOR REVIEW

PLAN DATE	07.18
DESIGNED BY	DV
PROJECT NO.	15.038
SHEET NO.	C401

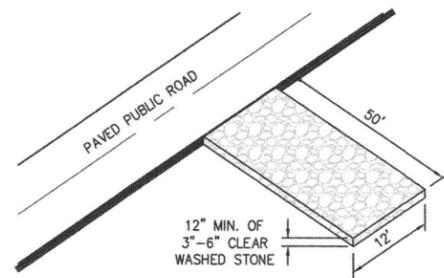
This drawing based on Wisconsin Department of Transportation Standard Detail Drawing 8 E 9-6.



GENERAL NOTES:

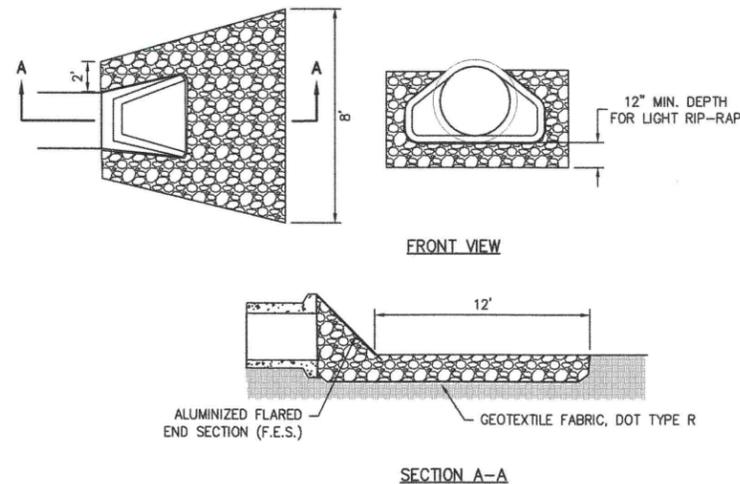
- HORIZONTAL BRACE REQUIRED WITH 2" x 4" WOODEN FRAME OR EQUIVALENT AT TOP OF POSTS.
- TRENCH SHALL BE A MINIMUM OF 4" WIDE AND 6" DEEP TO BURY AND ANCHOR THE GEOTEXTILE FABRIC. FOLD MATERIAL TO FIT TRENCH AND BACKFILL AND COMPACT TRENCH WITH EXCAVATED SOIL.
- WOOD POSTS SHALL BE A MINIMUM SIZE OF 1-1/8" x 1-1/8" OF OAK OR HICKORY.
- SILT FENCE TO EXTEND ACROSS THE TOP OF THE PIPE.
- CONSTRUCT SILT FENCE FROM A CONTINUOUS ROLL IF POSSIBLE BY CUTTING LENGTHS TO AVOID JOINTS. IF A JOINT IS NECESSARY USE ONE OF THE FOLLOWING TWO METHODS:
A) OVERLAP THE END POSTS AND TWIST, OR ROTATE, AT LEAST 180°
B) HOOK THE END OF EACH SILT FENCE LENGTH.
- SILT FENCE SHALL BE INSTALLED USING CURRENT WisDOT STANDARDS AT THE TIME OF CONSTRUCTION.

1 SILT FENCE
C501



NOTE: PLACE WISDOT TYPE R GEOTEXTILE FABRIC UNDER STONE, IF SATURATED CONDITIONS ARE EXPECTED.

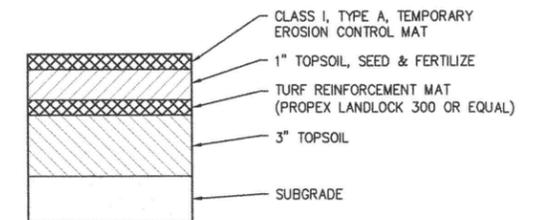
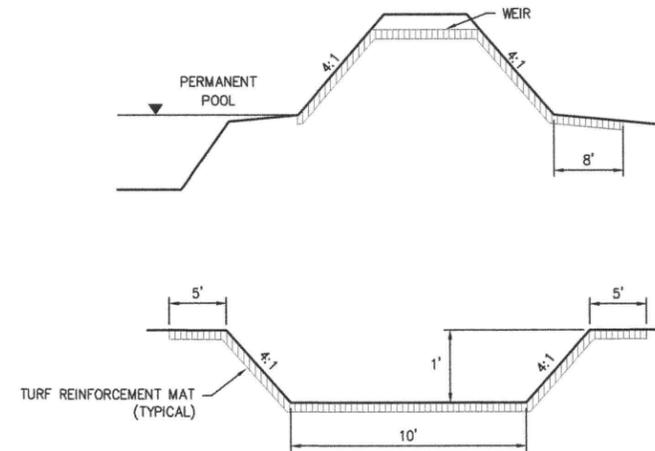
2 STONE TRACKING PAD
C501



NOTES:

- EXCAVATE TO ONE FOOT BELOW PIPE OUTLET AND WIDEN CHANNEL TO THE REQUIRED RIP-RAP THICKNESS FOR EACH APRON. FOUNDATION TO BE CUT TO ZERO GRADE AND SMOOTHED.
- PLACE FILTER CLOTH ON BOTTOM AND SIDES OF PREPARED FOUNDATION. ALL JOINTS TO OVERLAP A MINIMUM OF ONE FOOT.
- EXERCISE CARE IN RIP-RAP PLACEMENT TO AVOID DAMAGE TO FILTER FABRIC.
- PLACE RIP-RAP ON ZERO GRADE, TOP OF RIP-RAP TO BE LEVEL WITH PROPOSED OUTLET NO OVERFALL AT ENDS.
- RIP-RAP SHALL BE MEDIUM RIP-RAP IN ACCORDANCE WITH SECTION 606 OF THE STANDARD SPECIFICATIONS FOR ROAD AND BRIDGE CONSTRUCTION.
- IMMEDIATELY AFTER CONSTRUCTION, STABILIZE ALL DISTURBED AREAS WITH VEGETATION.
- LINE CHANNEL TO TOP OF BANKS FOR A DISTANCE OF 12' DOWNSTREAM. NO RESTRICTION OF CHANNEL CROSS SECTION SHOULD EXIST.

3 FLARED END SECTION AND RIP-RAP
C501



4 OVERFLOW WEIR
C501

CONSTRUCTION DETAILS

NO. REVISIONS BY DATE

ISSUED FOR REVIEW

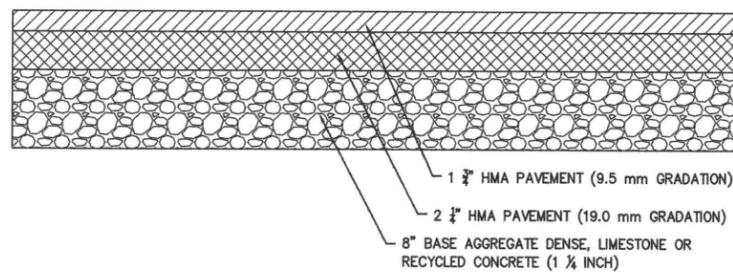
PLAN DATE 07.18
DESIGNED BY DV

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SCALE

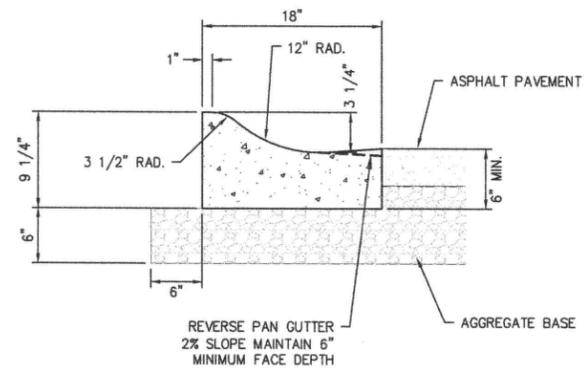
PROJECT NO.
15.038

SHEET NO.

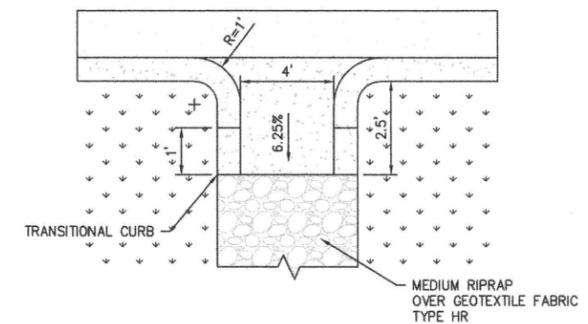
C501



1 STANDARD DUTY PAVEMENT
C502



2 TYPICAL 18" MOUNTABLE CURB & GUTTER
NOTE: DEPTH OF FACE MAY VARY
C502



3 INTEGRAL CONCRETE FLUME W/ CURB
C502

CONSTRUCTION DETAILS

NO. REVISIONS BY DATE

ISSUED FOR REVIEW

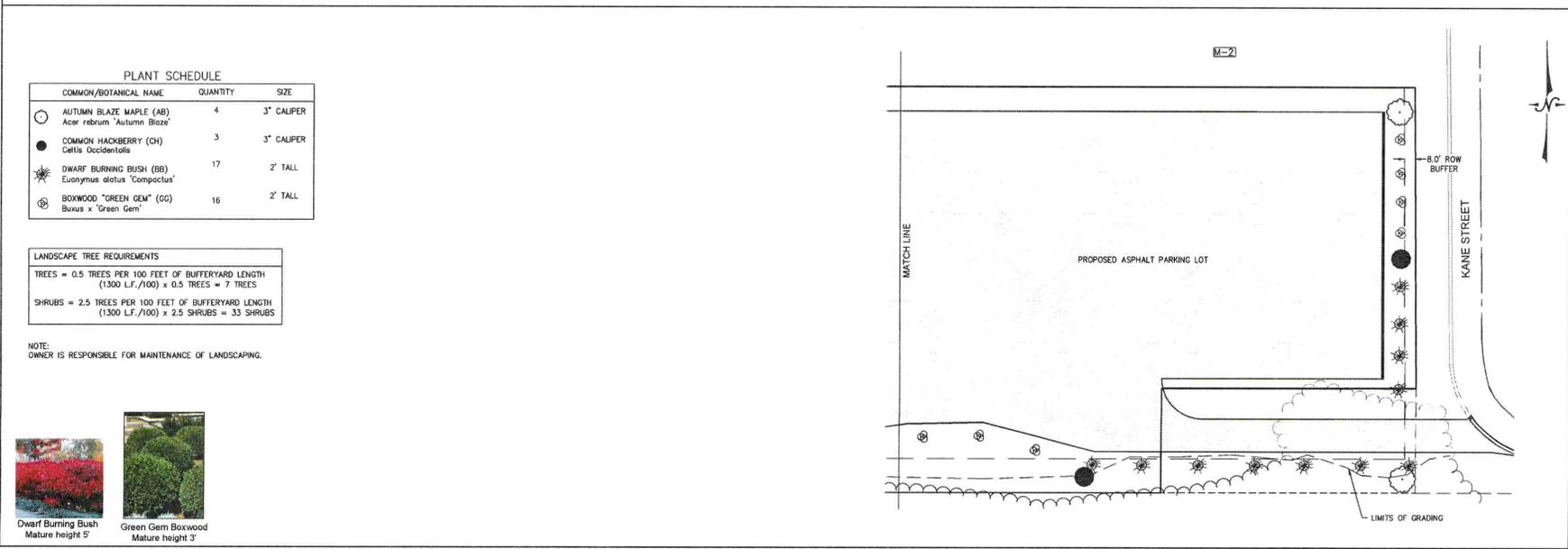
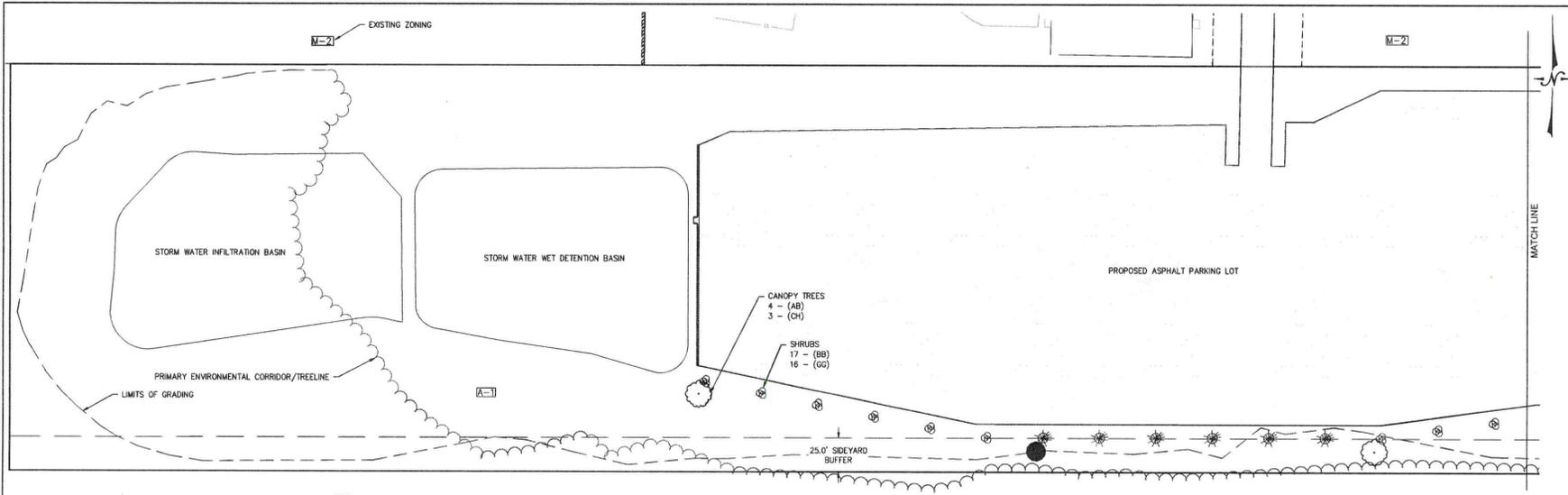
PLAN DATE 07.18
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SCALE

PROJECT NO.
15.038

SHEET NO.

C502



PLANT SCHEDULE

COMMON/BOTANICAL NAME	QUANTITY	SIZE
AUTUMN BLAZE MAPLE (AB) <i>Acer rubrum</i> 'Autumn Blaze'	4	3" CALIPER
COMMON HACKBERRY (CH) <i>Celtis Occidentalis</i>	3	3" CALIPER
DWARF BURNING BUSH (BB) <i>Euonymus alatus</i> 'Compactus'	17	2' TALL
BOXWOOD "GREEN GEM" (GG) <i>Buxus</i> x 'Green Gem'	16	2' TALL

LANDSCAPE TREE REQUIREMENTS

TREES = 0.5 TREES PER 100 FEET OF BUFFERYARD LENGTH
(1300 L.F./100) x 0.5 TREES = 7 TREES

SHRUBS = 2.5 TREES PER 100 FEET OF BUFFERYARD LENGTH
(1300 L.F./100) x 2.5 SHRUBS = 33 SHRUBS

NOTE:
OWNER IS RESPONSIBLE FOR MAINTENANCE OF LANDSCAPING.



DESIGN PLANS FOR
LDV PARKING LOT
CITY OF BURLINGTON, RACINE COUNTY, WISCONSIN

LYNCH & ASSOCIATES
ENGINEERING CONSULTANTS, LLC

LANDSCAPING PLAN

NO. _____

REVISIONS _____

BY _____

DATE _____

ISSUED FOR REVIEW

PLAN DATE 07.18

DESIGNED BY DV

SCALE
0 40'

PROJECT NO.
15.038

SHEET NO.
L101