



AGENDA
PLAN COMMISSION
Tuesday, May 8, 2018 at 6:30 p.m.
Common Council Chambers, 224 East Jefferson Street

Mayor Jeannie Hefty, Chairman
Tom Preusker, Aldermanic Representative
Bob Grandi, Aldermanic Representative
Chad Redman, Commissioner
Andy Tully, Commissioner
John Ekes, Commissioner
Art Gardner, Commissioner
Samuel Jorudd, Student Representative
Aysha Schiller, Student Representative

1. Call to Order
2. Roll Call
3. Approval of the minutes of April 10, 2018
4. Letters and Communications: None
5. Citizen Comments
6. Old Business: None
7. New Business:
 - A. Consideration to recommend approval to the Common Council of an Extraterritorial Certified Survey Map from Timothy and Joan Warren, for property located at 30561 Bushnell Road in the Town of Burlington to subdivide a parcel, subject to Graef's May 1, 2018 memorandum to the Plan Commission.
 - B. Consideration to approve a Site Plan application from Scherrer Construction for property located at 601 Blackhawk Drive to construct a storage building for material and equipment, subject to Graef's May 1, 2018, Kapur & Associates' May 1, 2018 and Fire Department's May 2, 2018 memorandums to the Plan Commission.
8. Adjournment.

Note: If you are disabled and have accessibility needs or need information interpreted for you, please call the City Clerk's Office at 262-342-1161 at least 24 hours prior to the meeting.

Note: Notice is hereby given that a majority of the members of the Common Council may be present at the meeting. Although this may constitute a quorum of the Council, the Council will not take any action at this meeting.



Minutes
City of Burlington Plan Commission
April 10, 2018, 6:30 p.m.

Alderman Bob Grandi called the Plan Commission meeting to order at 6:31 p.m. Roll call: Alderman Tom Vos; Commissioners Andy Tully; John Ekes; and Art Gardner were present. Mayor Jeannie Hefty and Commissioner Chad Redman were excused. Student Representatives Samuel Jorudd and Aysha Schiller were present.

Alderman Grandi announced he will be retaining his right to vote.

APPROVAL OF MINUTES

Alderman Vos moved, and Commissioner Ekes seconded to approve the minutes of March 13, 2018. All were in favor and the motion carried.

LETTERS & COMMUNICATIONS

None

CITIZEN COMMENTS

None

OLD BUSINESS

None

NEW BUSINESS

A. Consideration to recommend approval to the Common Council of an ordinance to consider annexing territory located at 6320 S. Pine Street to the City of Burlington and will be temporarily zoned A-1, Agricultural/Holding District.

- Alderman Grandi opened this item for discussion.
- Carina Walters, City Administrator, explained this item is related to the Burlington Manufacturing and Office Park District that Council approved the annexation to incorporate into the City. Ms. Walters further explained staff recommends keeping the same zoning temporarily as A-1, because once it comes into the City it will receive a higher city portion of tax bracket, however, it will continue to remain under that category which will allow the flexibility for that. Ms. Walters stated that once the plan development is finalized, then the zoning can be changed appropriately.
- There were no further comments.

Alderman Vos moved, and Commissioner Ekes seconded to recommend approval of the temporary A-1 zoning.

All were in favor and the motion carried.

B. Consideration to approve a Site Plan application from Kempken Real Estate for property located at 1200 Raptor Court, Unit 1 & 2 for a driveway relocation and additional parking pad, subject to Graef's April 3, 2018 memorandum to the Plan Commission.

- Alderman Grandi opened this item for discussion.
- Gregory Guidry, Building Inspector, explained an additional parking pad was being proposed because of the driveway relocation, this way cars will not be sticking out onto the sidewalk or the road when parked in front of the garage. Tanya Fonesca, Graef, stated this is not unusual for duplexes to have a parking pad.
- Commissioner Ekes asked if the duplex is also being moved back. Ms. Fonesca replied they have to move the unit back because of the utilities. Mr. Bjelajac explained the plans showed a shortened driveway with a bigger setback, thus the additional parking pad was proposed. Mr. Bjelajac stated that Mr. Guidry issued a permit with what was presented to him, which was correct. Commissioner Ekes questioned if the original plans were wrong. Mr. Bjelajac and Ms. Fonesca responded no, they were just different than what was originally approved on the master plan submitted by the same developers when the development was first presented, and that is why the developers needed to come back to Plan Commission for approval of the parking pad.
- There were no further comments.

Commissioner Tully moved, and Commissioner Ekes seconded to approve the Site Plan to approve the driveway relocation and additional parking pad.

All were in favor and the motion carried.

Alderman Vos stated he would recuse himself since he was the next item on the agenda and Peter Scherrer would be representing Rojo Popcorn. Alderman Vos commented he wanted to express his heartfelt thank you to all the current and past Planning Commission members, as well as Mr. Bjelajac and Ms. Walters for being quality type people and will miss each and every one on the Plan Commission and Council, but it is time to move on. Alderman Grandi stated he learned a lot serving with him and wished him the best of luck.

C. Consideration to approve a Site Plan application from Peter Scherrer Group for property located at 171 Industrial Drive to add on to the existing building for cold storage for Rojo Popcorn Troy-Star Packaging, subject to Graef's April 3, 2018, Kapur & Associates' April 3, 2018 and Fire Department's April 4, 2018 memorandums to the Plan Commission.

- Alderman Grandi opened this item for discussion.
- Ms. Fonesca explained the applicant is proposing a driveway onto Industrial Drive which will be the second driveway entrance, as well as the building expansion for cold storage. Peter Scherrer, Peter Scherrer Group, gave a visual presentation for where the cold storage expansion will go, which will be on the south side of the building. Mr. Scherrer stated the

truck traffic is being reconfigured for improvement. Alderman Grandi asked about the site-line concerns that were stated in the review to be reviewed by Kapur & Associates. Ms. Fonesca stated Kapur & Associates is to confirm that the driveway for truck traffic and semi turning are in compliance. Commissioner Gardner stated he supports the growth and investment for the expansion of businesses.

- There were no further comments.

Commissioner Ekes moved, and Commissioner Gardner seconded to approve the Site Plan for the cold storage.

All were in favor and the motion carried.

Commissioner Gardner asked what the update was for Jeff Way's property located at 1157 Milwaukee Avenue. Ms. Walters stated Mr. Way was scheduled for closed session March 20, 2018, however, Mr. Guidry worked with Mr. Way and it was indicated that Mr. Way would be removing 15-20 cars per week, which would take another 5-6 weeks to remove the vehicles. Ms. Walters and Mr. Bjelajac commented that as long as vehicles are moving out, Mr. Way will not go to Racine County for court, unless there is no progress by the May 1, 2018 Common Council meeting. Commissioner Gardner questioned who is responsible for cleaning oil spills once Mr. Way has removed all the vehicles. Mr. Bjelajac answered it can be between the property owner and the tenant. Mr. Bejelajac also responded this property is for sale and has a potential buyer, sometimes the buyer is responsible for the clean-up costs. Commissioner Ekes stated the City gave Mr. Way plenty of time, even after the deadline, and since nothing has not been completed, feels there should be a different route to take for future issues.

ADJOURNMENT

Commissioner Ekes moved, and Commissioner Gardner seconded to adjourn the meeting at 6:55 p.m.

All were in favor and the motion carried.

Recording Secretary
Kristine Anderson
Administrative Assistant



PLAN COMMISSION

ITEM NUMBER: 7A

DATE: May 8, 2018

SUBJECT: Consideration to recommend approval for an ETZ Certified Survey Map application at 30561 Bushnell Road.

SUBMITTED BY: Gregory Guidry, Building Inspector and Zoning Administrator

PROJECT/SCOPE:

As part of the City's Extraterritorial Plat Approval Jurisdiction Area, which includes any area within 1.5 miles of the City of Burlington, all divisions and subdivisions of land shall be reviewed by the Plan Commission and Common Council. The purpose of this is to enable the City to extend regulations to adjacent land that could affect quality of life within the city. The Extraterritorial Zoning District (ETZ) represents a city's potential growth boundary, both with respect to its future tax base and municipal service area.

This Certified Survey Map has been submitted for review by Timothy and Joan Warren for property located at the 30561 Bushnell Road in the Town of Burlington. The applicant would like to subdivide a parcel to create Proposed Lot 1. Proposed Lot 1 will consist of 5.01 acres. The entire parcel currently exists as un-platted lands, and the portions of the parcel outside of the Proposed Lot 1 will remain as un-platted. The materials submitted do not indicate any plans for future buildings or structures.

The Town of Burlington Planning and Zoning Committee approved this CSM at their April 12, 2018 meeting.

ZONING:

The parcel is located in the Town of Burlington.

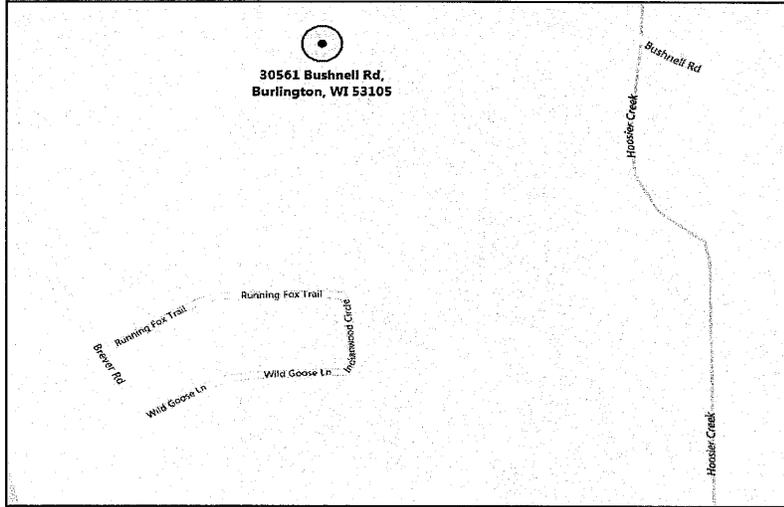
RECOMMENDATION:

Graef recommends approval of this ETZ Certified Survey Map, subject to the items listed in the memorandum.

TIMING/IMPLEMENTATION:

This item is for consideration at the May 8, 2018 Plan Commission meeting and will be placed on the May 15, 2018 Committee of the Whole and Common Council meeting for final consideration the same night.

MAP:





collaborāte / formulāte / innovāte

MEMORANDUM

TO: Plan Commission
City of Burlington

FROM: GRAEF

DATE: May 1, 2018

SUBJECT: Review of Certified Survey Map for Land Division at 30561 Bushnell Road, Town of Burlington

A. PURPOSE

- 1) Consider for approval the Extraterritorial Zoning District Certified Survey Map from Timothy and Joan Warren for property located at 30561 Bushnell Road in the Town of Burlington.

B. RECOMMENDATION

Based upon the review of the submitted materials, GRAEF recommends that the Plan Commission recommend to the Common Council the **APPROVAL** of the following:

- a. the Extraterritorial Zoning District Certified Survey Map from Timothy and Joan Warren for property located at 30561 Bushnell Road in the Town of Burlington subject to the following conditions:
 - (1) An updated Certified Survey Map be submitted to the Town of Burlington that shows any potential lands reserved for future acquisition. If no plans for future acquisition exist, then the Applicants should provide materials that indicate additional subdividing of this nature is not being considered (i.e., balloon-on-a-string parceling).
 - (2) An updated Certified Survey Map be submitted to the Town of Burlington that shows the entire parcel 002021903007000. Alternatively, the Applicants could provide an ALTA survey.

C. BACKGROUND

Pursuant to City of Burlington Municipal Code §278-2 and upon referral by the Town of Burlington, GRAEF planners reviewed the Certified Survey Map (CSM) of Timothy and Joan Warren (Owners and Applicants) to subdivide their 64.50-acre parcel at 30561 Bushnell Road, Town of Burlington, WI 53105.

The intent of the Applicants is to create Proposed Lot 1 from parcel 002021903007000. The entire parcel currently exists as unplatted lands, and the portions of the parcel outside of the Proposed Lot 1 will remain as unplatted lands. Proposed Lot 1 will be 5.01 acres.



It is the understanding of GRAEF planners that the new lot will retain the existing zoning classification and land use designation of parcel 002021903007000, which are Racine County Zoning Classification "A-2 General Farming and Residential District II" and land use designation "Agricultural Estate."

The materials submitted by the Applicants do not indicate any plans for future buildings or structures. Any future building(s) and/or structure(s) will need to be reviewed for compliance with the Racine County Zoning Code by the Town of Burlington.

The Applicants submitted the following materials:

- a. Certified Survey Map (4 sheets, prepared by Robert J. Wetzel, dated March 20, 2018)

It is the understanding of GRAEF that reviews and comments on all engineering-related aspects of the certified survey map are to be accomplished by the engineer for the Town and/or City of Burlington. Therefore GRAEF defers all engineering-related review and comment to that party.

D. COMPLIANCE WITH MUNICIPAL CODE §278-22 "MINOR LAND DIVISION (CERTIFIED SURVEY MAP)"

Pursuant to Municipal Code §278-22, a certified survey map is the appropriate tool to subdivide parcel 002021903007000, as the subdivision will create one new parcel that is greater than 1.5 acres in size. As the Applicants submitted a CSM, the materials are compliant.

E. COMPLIANCE WITH ARTICLE VI "CERTIFIED SURVEY MAP" OF MUNICIPAL CODE CHAPTER 278 "SUBDIVISION OF LAND"

The Applicants' CSM is compliant with the provisions in §278-38 "General requirements," as it is a minor land division (as defined by §278-86 "Definitions").

The Applicants' CSM contains most of the required provisions enumerated in Subsection A, Paragraphs (1-10) and Subsection B of §278-39 "Additional information." The following information provisions were not satisfied:

- ã. (A)(4): The CSM shall show all lands reserved for future acquisition. *(Based on the pattern of land division observed over the past year, it is a reasonable assumption that future land division of this parcel will occur in the future, potentially included future acquisitions. The Applicant should indicate whether such plans exist.)*
- b. (B): The CSM shall show the entire area contiguous to the proposed CSM owned by the subdivider.

F. LAND USE AND ZONING CONSIDERATIONS

In addition to considering the compliance of the Applicants' request with the City of Burlington Municipal Code in Sections D and E of this memorandum, compliance with the Racine County zoning classification,

proximity to the delineated Planned Sewer Service Area Boundary, and the presence of environmental corridors should be considered.

I. Compliance with "A Multi-Jurisdictional Comprehensive Plan for Racine County: 2035"

"Map 12 – Recommended Land Use Plan for the Town of Burlington: 2035" (page D-25, *A Multi-Jurisdictional Comprehensive Plan for Racine County: 2035*) indicates that parcel 002021903007000 has a land use designation of "Agricultural Estate." As the Proposed Lot will retain the current land use designation of parcel 002021903007000, the parcel subdivision is compliant.

II. Compliance with Racine County Zoning Classification "A-2 General Farming and Residential District II"

The proposed subdivision of parcel 002021903007000 is compliant with the following provisions enumerated in Racine County Code of Ordinances Division 24 "A-2 General Farming and Residential District II":

§20-676 Uses: No use for the Proposed Lot has been defined by this CSM. Any future use that is proposed must be compliant with this section of the Racine County Zoning Code.

§20-677 Area requirements: The Proposed Lot conforms to the area requirements required in the A-2 classification with respect to lot width and lot area.

§20-678 Yard setback requirements: No structures or buildings exist or are planned for the Proposed Lot. Any future structure or building that is proposed must be compliant with this section of the Racine County Zoning Code.

III. SEWRPC Delineated Planned Sanitary Sewer Service Area

Parcel 002021903007000 does not fall within the Planned Sanitary Sewer Service Area, as described in the Southeastern Wisconsin Regional Planning Commission's (SEWRPC) "Amendment to the Regional Water Quality Management Plan – City of Burlington" (adopted September 2014). Any further construction on the Proposed Lot would need to upgrade or install a private onsite wastewater treatment system (POWTS).

IV. Environmental Corridors

The "Town of Burlington 2035 Land Use Plan"¹ map provided in the 2008 Town of Burlington Land Use Plan indicates that there are three environmental corridors that pass through parcel 002021903007000. The materials that were submitted do not indicate that these corridors will be impacted by the proposed subdivision.

G. ADDITIONAL CONSIDERATIONS – LAND USE PLANNING BEST PRACTICES

Though the Applicants' proposed subdivision is compliant with City, Town, and County zoning ordinances, there are additional considerations that should be brought to light with regards to land use planning best practices. In particular, the "balloon-on-a-string" configurations of the Proposed Lot 1, 30501 Bushnell Road, and 30261 Bushnell Road indicates a pattern of land division that may limit future potential for

¹ Available via the Town of Burlington: <http://www.tn.burlington.wi.gov/docview.asp?docid=3560&locid=142>, accessed 24 Aug 2016.

development and conservation of the land. In essence, this parcel is becoming a de facto subdivision that is bypassing subdivision regulations.

If this pattern were to continue, future problems may include:

- Hindered public safety and accessibility of vehicles (particularly fire engines and emergency vehicles) if the road is not built to public standards
- Limited development potential (future development requires available street frontage, which is becoming increasingly reduced with the “balloon-on-a-string” configurations)
- Reduced assessed and resale value (unorderly lots are difficult to resell or repurpose)
- Inadequate infrastructure
- Confusion regarding the maintenance of shared facilities (road), which typically would be managed if the road was developed as part of a subdivision, a homeowners’, or condominium association and the related agreements

Although these may be long term considerations, a comprehensive review of the property and future CSM or subdivision potential could be reviewed with the Town of Burlington to determine the long-term plan for this land and measures to limit any projected issues.



CITY OF BURLINGTON

Fire Department

165 W. Washington Street, Burlington, WI 53105
(262) 763-7842 – (262) 767-8602 fax
www.burlington-wi.gov

MEMORANDUM

TO: Plan Commission
City of Burlington

FROM: City of Burlington Fire Department
Alan Babe, Fire Chief
Wes Miner, Fire Inspector

DATE: May 2, 2018

SUBJECT: Review of Extraterritorial Zoning District Certified Survey Map from Timothy and Joan Warren for the property located at 30561 Bushnell Road.

A. PURPOSE

Review Certified Survey Map for the property located at 30561 Bushnell Road.

B. RECOMMENDATION

Based upon the review of the submitted materials, the City of Burlington Fire Department has no comments regarding the subject matter.

CERTIFIED SURVEY MAP NO. _____.

BEING A PART OF THE NORTHEAST 1/4 AND THE SOUTHEAST 1/4 OF THE SOUTHWEST 1/4 AND PART OF THE SOUTHEAST 1/4 OF THE NORTHWEST 1/4 OF SECTION 3, TOWNSHIP 2 NORTH, RANGE 19 EAST OF THE FOURTH PRINCIPAL MERIDIAN IN THE TOWNSHIP OF BURLINGTON, RACINE COUNTY, WISCONSIN.

OWNERS: TIMOTHY P. AND JOAN M. WARREN
30561 BUSHNELL ROAD
BURLINGTON, WI 53105

PREPARED BY: B.W. SURVEYING, INC.
412 N. PINE STREET
BURLINGTON, WI 53105
JOB NO. 9527-CSM

LEGAL DESCRIPTION:

BEING A PART OF THE NORTHEAST 1/4 AND THE SOUTHEAST 1/4 OF THE SOUTHWEST 1/4 AND PART OF THE SOUTHEAST 1/4 OF THE NORTHWEST 1/4 OF SECTION 3, TOWNSHIP 2 NORTH, RANGE 19 EAST OF THE FOURTH PRINCIPAL MERIDIAN IN THE TOWNSHIP OF BURLINGTON, RACINE COUNTY, WISCONSIN AND BEING MORE PARTICULARLY DESCRIBED AS FOLLOWS: COMMENCE AT THE SOUTH 1/4 CORNER OF SAID SECTION 3, THENCE NORTH 00°04'12" WEST ALONG THE EAST LINE OF SAID SOUTHWEST 1/4 SECTION 2635.88 FEET TO THE CENTER OF SAID SECTION 3; THENCE SOUTH 89°45'07" WEST ALONG THE NORTH LINE OF SAID SOUTHWEST 1/4 SECTION 662.78 FEET TO THE POINT OF BEGINNING OF THIS DESCRIPTION; THENCE NORTH 13°49'42" EAST 82.59 FEET TO A POINT ON THE SOUTH LINE OF STATE TRUNK HIGHWAY 142; THENCE; THENCE SOUTH 55°40'48" EAST 160.13 FEET; THENCE SOUTH 13°49'42" WEST 80.07 FEET; THENCE NORTH 55°40'48" WEST 134.67 FEET; THENCE SOUTH 89°45'07" WEST 673.50 FEET; THENCE SOUTH 00°12'22" WEST 1564.76 FEET; THENCE SOUTH 89°47'38" EAST 325.67 FEET; THENCE SOUTH 00°12'22" WEST 531.00 FEET; THENCE NORTH 89°47'38" WEST 337.67 FEET; THENCE NORTH 00°12'22" WEST 2107.66 FEET TO A POINT ON THE NORTH LINE OF SAID SOUTHWEST 1/4 SECTION; THENCE NORTH 89°45'07" EAST 663.81 FEET TO THE PLACE OF BEGINNING. CONTAINING 5.01 ACRES OF LAND MORE OR LESS.

SURVEYOR'S CERTIFICATE:

I, ROBERT J. WETZEL, DO HEREBY CERTIFY THAT AT THE DIRECTION OF TIMOTHY P. AND JOAN M. WARREN, I HAVE SURVEYED THE LAND DESCRIBED HEREON AND THAT THE MAP SHOWN IS A CORRECT REPRESENTATION OF ALL LOT LINES AND THAT I HAVE FULLY COMPLIED WITH CHAPTER 236.34 OF THE WISCONSIN STATUTES, TOWN OF BURLINGTON LAND DIVISION ORDINANCE AND THE CITY OF BURLINGTON SUBDIVISION OF LAND ORDINANCE.

DATED THIS 20TH DAY OF MARCH, 2018

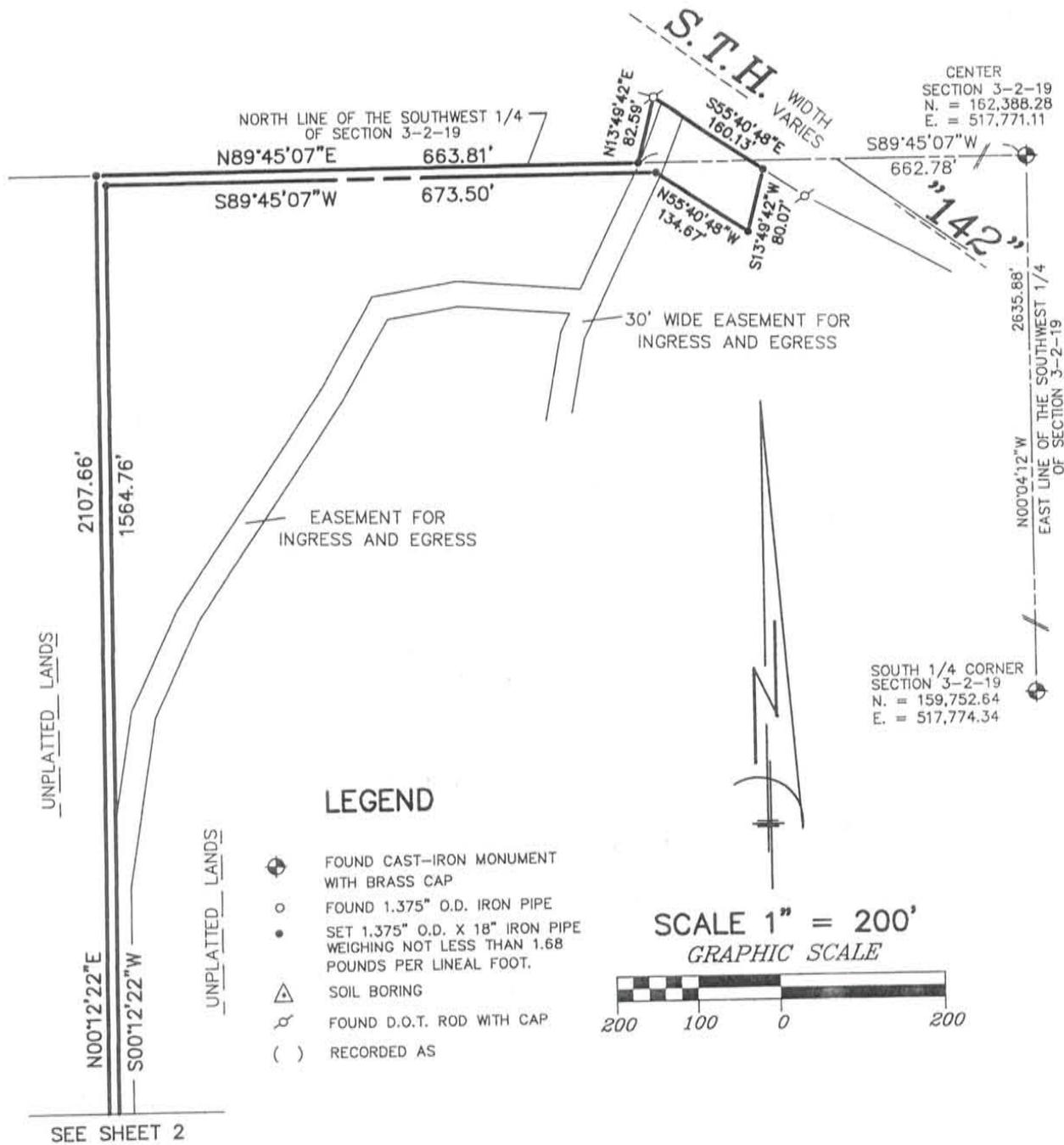

ROBERT J. WETZEL S-1778

CERTIFIED SURVEY MAP NO. _____

BEING A PART OF THE NORTHEAST 1/4 AND THE SOUTHWEST 1/4 OF THE SOUTHWEST 1/4 AND PART OF THE SOUTHWEST 1/4 OF THE NORTHWEST 1/4 OF SECTION 3, TOWNSHIP 2 NORTH, RANGE 19 EAST OF THE FOURTH PRINCIPAL MERIDIAN, IN THE TOWNSHIP OF BURLINGTON, COUNTY OF RACINE AND STATE OF WISCONSIN.

PREPARED FOR: TIMOTHY P. AND JOAN M. WARREN
30561 BUSHNELL ROAD
BURLINGTON, WI 53105

PREPARED BY: B.W. SURVEYING, INC.
412 N. PINE STREET
BURLINGTON, WI 53105
(262)-767-0225
JOB NO. 9527-CSM



BEARINGS HEREON RELATE TO THE EAST LINE OF THE SW 1/4 OF SECTION 3-2-19, ASSUMED BEARING NORTH 00°04'12" WEST, BEARINGS ON THIS PLAT ARE PER WISCONSIN COUNTY COORDINATE SYSTEM (RACINE ZONE), NAD 1983(91).

Robert J. Wetzel
ROBERT J. WETZEL S-1778
MARCH 20, 2018

CERTIFIED SURVEY MAP NO. _____.

BEING A PART OF THE NORTHEAST 1/4 AND THE SOUTHEAST 1/4 OF THE SOUTHWEST 1/4 AND PART OF THE SOUTHEAST 1/4 OF THE NORTHWEST 1/4 OF SECTION 3, TOWNSHIP 2 NORTH, RANGE 19 EAST OF THE FOURTH PRINCIPAL MERIDIAN IN THE TOWNSHIP OF BURLINGTON, RACINE COUNTY, WISCONSIN.

OWNER'S CERTIFICATE:

WE, TIMOTHY P. AND JOAN M. WARREN AS OWNERS, AND I, TIMOTHY P. WARREN AS MEMBER OF TJW REAL ESTATE, LLC, HEREBY CERTIFY THAT WE CAUSED THE LAND DESCRIBED ON THIS CERTIFIED SURVEY MAP TO BE SURVEYED, DIVIDED, AND MAPPED AS REPRESENTED HEREON.

DATED THIS _____ DAY OF _____, 2018

TIMOTHY P. WARREN

JOAN M. WARREN

TIMOTHY P. WARREN, MEMBER

TOWN OF BURLINGTON TOWN BOARD APPROVAL:

THIS CERTIFIED SURVEY MAP IS HEREBY APPROVED BY THE TOWN OF BURLINGTON TOWN BOARD ON THIS _____ DAY OF _____, 2018.

RALPH RICE

TOWN CHAIRMAN

ADELHEID STREIF

TOWN CLERK

CITY OF BURLINGTON APPROVAL (EXTRATERRITORIAL):

THIS CERTIFIED SURVEY MAP IS HEREBY APPROVED BY THE CITY OF BURLINGTON COMMON COUNCIL ON THIS _____ DAY OF _____, 2018.

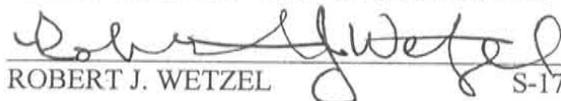
JEANNIE HEFTY

MAYOR

DIAHNN HALBACH

CLERK

DATED THIS 20TH DAY OF MARCH, 2018


ROBERT J. WETZEL S-1778

RESOLUTION NO. -----

Introduced by: Committee of the Whole

A RESOLUTION APPROVING A CERTIFIED SURVEY MAP FOR TIMOTHY AND JOAN WARREN FOR PROPERTY LOCATED AT 30561 BUSHNELL ROAD IN THE TOWN OF BURLINGTON, WITHIN THE CITY'S EXTRATERRITORIAL PLAT JURISDICTION

WHEREAS, the Plan Commission of the City of Burlington has reviewed a certified survey map shown hereon, proposed and submitted by Timothy and Joan Warren for property located at 30561 Bushnell Road in the Town of Burlington; for property described as:

BEING PART OF THE NORTHEAST ¼ AND THE SOUTHEAST ¼ OF THE SOUTHWEST ¼ AND BEING PART OF THE SOUTHEAST ¼ OF THE NORTHWEST ¼ IF SECTION 3, TOWNSHIP 2 NORTH, RANGE 19 EAST OF THE FORTH PRINCIPAL MERIDIAN IN THE TOWNSHIP OF BURLINGTON, RACINE COUTNY, WISCONSIN AND BEING MORE PARTICULARLY DESCRIBED AS FOLLOWS: COMMENCE AT THE SOUTH ¼ CORNER OF SAID SECTION 3, THENCE NORTH 00°04'12" WEST ALONG THE EAST LINE OF SAID SOUTHWEST ¼ SECTION 2635.88 FEET TO THE CENTER OF SAID SECTION 3; THENCE SOUTH 89°45'07" WEST ALONG THE NORTH LINE OF SAID SOUTHWEST ¼ SECTION 662.78 FEET TO THE POINT OF BEGINNING OF THIS DESCRIPTION; THENCE NORTH 13°49'42" EAST 82.59 FEET TO A POINT ON THE SOUTH LINE OF STATE TRUNK HIGHWAY 142; THENCE; THENCE SOUTH 55°40'48" EAST 160.13 FEET; THENCE SOUTH 13°49'42" WEST 80.07 FEET; THENCE NORTH 55°40'48" WEST 134.67 FEET; THENCE SOUTH 89°45'07" WEST 673.50 FEET; THENCE SOUTH 00°12'22" WEST 1564.76 FEET; THENCE SOUTH 89°47'38" EAST 325.67 FEET; THENCE SOUTH 00°12'22" WEST 531.00 FEET; THENCE NORTH 89°47'38" WEST 337.67 FEET; THENCE NORTH 00°12'22" WEST 2107.66 FEET TO A POINT ON THE NORTH LINE OF SAID SOUTHWEST ¼ SECTION; THENCE NORTH 89°45'07" EAST 663.81 FEET TO THE PLACE OF BEGINNING. CONTAINING 5.01 ACRES OF LAND MORE OR LESS.

NOW, THEREFORE, BE IT RESOLVED by the Common Council of the City of Burlington, Racine County and Walworth County, State of Wisconsin, that the attached certified survey map prepared on March 20, 2018 by Robert J. Wetzel, WLS, is hereby approved.

BE IT FURTHER RESOLVED that the City Clerk shall forward a copy of this resolution to the Town of Burlington Clerk, 32288 Bushnell Road, Burlington, WI 53105; Julie Anderson, Director, Racine County Planning and Development, 14200 Washington Ave., Sturtevant, WI 53177; and Walworth County Land Use and Resource Management, W3929 County Road NN, Elkhorn, WI 53121.

Introduced: May 15, 2018

Adopted: May 15, 2018

Jeannie Hefty, Mayor

Attest:

Diahnn Halbach, City Clerk



PLAN COMMISSION

ITEM NUMBER: 7B

DATE: May 8, 2018

SUBJECT: Consideration to approve a Site Plan application at 601 Blackhawk Drive.

SUBMITTED BY: Gregory Guidry, Building Inspector and Zoning Administrator

PROJECT/SCOPE:

This item is to consider approving a Site Plan application from Scherrer Construction for property located at 601 Blackhawk Drive. The applicant is proposing to construct a vehicle and material storage building. The proposed vehicle and material storage building will be an accessory building to the current facility and support its existing operations. The building will be constructed on the east side within a gravel lot currently used for the outdoor storage of materials and vehicles. The building will be 1,920 square feet measuring 30 feet by 64 feet. The north wall will have four overhead doors and the west wall will have one overhead door for vehicle access. The roof peak height will measure 21 feet, 4 inches. The building will be clad in Gallery Blue steel siding and Charcoal Gray steel trim and roofing.

ZONING:

The parcel is zoned M-3, Manufacturing and Office Park District.

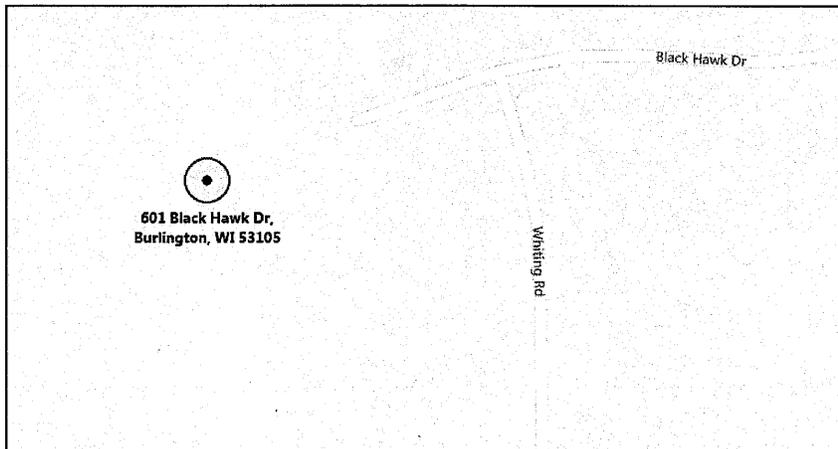
RECOMMENDATION:

Graef, Kapur & Associates, and Fire Department recommend a conditional approval of this Site Plan, subject to items listed in their May 1, 2018 memorandums.

TIMING/IMPLEMENTATION:

This item is for consideration at the May 8, 2018 Plan Commission meeting. No further action is necessary.

MAP:





collaborāte / formulāte / innovāte

MEMORANDUM

TO: Plan Commission
City of Burlington

Copies to: Carina Walters, City Administrator
Megan Watkins, Director of Administrative Services
Gregory Guidry, Building Inspector
Gregory Governatori, City Engineer, Kapur & Associates, Inc.
John Bjelajac, City Attorney
Connor Nimmow, Scherrer Construction Co., Inc., Applicant

FROM: GRAEF

DATE: May 1, 2018

SUBJECT: Review of Site Plan for a Vehicle and Material Storage Building at Scherrer Construction Co., Inc. at 601 Blackhawk Drive, Burlington, WI 53105

A. PURPOSE

- 1) Consider for approval a Site Plan Approval Application from Connor Nimmow of Scherrer Construction Co., Inc. to construct a vehicle and material storage building at 601 Blackhawk Drive, Burlington, WI 53105 as an accessory building to the company's existing facility.

B. RECOMMENDATION

Based upon the review of the submitted materials, GRAEF recommends that the Plan Commission recommend to the Common Council the **APPROVAL** of the following:

- a. a Site Plan Approval Application from Connor Nimmow of Scherrer Construction Co., Inc. to construct a vehicle and material storage building at 601 Blackhawk Drive, Burlington, WI 53105 as an accessory building to the company's existing facility.

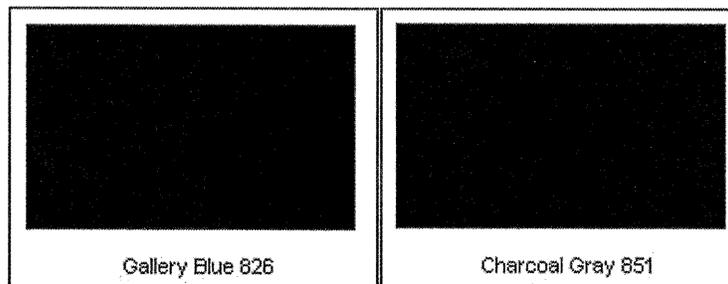
C. BACKGROUND

Connor Nimmow of Scherrer Construction Co., Inc. (Applicant) submitted a Site Plan Approval Application to construct a vehicle and material storage building at the company's headquarters located at 601 Blackhawk Drive, Burlington, WI 53105. The vehicle and material storage building will be an accessory building to the current facility and support its existing operations. The building will be constructed on the east side of the parcel within a gravel lot currently used for the outdoor storage of materials and vehicles. The building will be 1,920 square feet measuring 30 feet by 64 feet. The north wall will have four



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overhead doors and the east wall will have one overhead door for vehicle access. The roof peak height will measure 21 feet, 4 inches. The building will be clad in Gallery Blue steel siding and Charcoal Gray steel trim and roofing.



Source: Cleary Building Corp.

The facilities of Scherrer Construction Co., Inc. are located on parcel 206-02-19-09-007-140 and zoned M-3 "Manufacturing and Office Park District." Parcel 206-02-19-09-007-140 is located in the Burlington Manufacturing and Office Park (BMOP). Surrounding uses include other commercial and manufacturing users zoned M-3. The west side of parcel 206-02-19-09-007-140 abuts agricultural land.

The construction of the vehicle and material storage building is substantially consistent with the provisions of the original conditional use permit issued in 2004. As the use will not change and it is unlikely that an increase in the intensity of use on parcel 206-02-19-09-007-140 will result from the new building, the building and its use may be incorporated into the 2004 conditional use permit. For future decision making, the recommendation of this memorandum may accompany a future Plan Commission action to be considered in tandem with the 2004 memorandum from Meehan & Company, Inc.

The Applicant submitted the following materials:

- a. Site Plan Approval Application form (2 sheets, as prepared by Connor Nimmow of Scherrer Construction Co., Inc., dated April 17, 2017)
- b. Cleary Building Corp. Project Proposal (10 sheets, as prepared by Cleary Building Corp., dated April 12, 2017)
- c. Schematic Site Plan Drawing (1 sheet, as prepared by RSV Engineering, undated)

It is the understanding of GRAEF that reviews and comments on all engineering-related aspects of the site plan are to be accomplished by the City Engineer. Therefore, GRAEF defers all engineering-related review and comment to the City Engineer.



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D. COMPLIANCE WITH BURLINGTON ZONING CODE §315-32 “M-3 MANUFACTURING AND OFFICE PARK DISTRICT”

The current use of the Scherrer Construction Co., Inc.’s facilities is allowable as a conditional use pursuant to §315-32(D) and substantially consistent with the conditional use permit originally granted in 2004. The future use of the vehicle and material storage building would be appropriate as a permitted accessory use pursuant to Subsection (C).

Parcel 206-02-19-09-007-140 is a conforming lot and meets the lot area and width requirements in Subsection (E). Additionally, Scherrer Construction Co., Inc.’s existing building, existing parking lot, and proposed new building conform to the maximum building height and minimum setback and yard requirements in Subsection (E).

The Applicant’s materials did not indicate the installation of new lighting on the exterior of the proposed building. As additional light fixtures are not proposed as part of this project, a lighting plan required by §315-32(L) is not needed as part of the Applicant’s submittal.

The proposed building construction is compliant with §315-32.

E. COMPLIANCE WITH BURLINGTON ZONING CODE §315-52 “LANDSCAPING”

As the total facility floor area on parcel 206-02-19-09-007-140 will not increase by more than 10%, additional landscaping and bufferyards are not required pursuant to §315-52(A)(2)(b). The vehicle and material storage building will add 1,920 square feet to the existing approximate 23,715 square feet. This constitutes an 8.1% increase.

F. COMPLIANCE WITH BURLINGTON ZONING CODE §315-137 “SITE PLANS”

The site plan is compliant with the requirements in §315-137(A, B, & C).

G. COMPLIANCE WITH BURLINGTON ZONING CODE §315-138 “LANDSCAPE PLANS”

As additional landscaping is not needed pursuant to §315-52(A)(2)(b), a landscape plan was not required as part of the Applicant’s submittal.



To: Kristine Anderson **Date:** May 1, 2018
From: Greg Governatori
CC: Carina Walters, Gregory Guidry, Peter Riggs, Tanya Fonseca, Megan Johnson
Subject: Scherrer Pole Barn (601 Blackhawk Drive)

BACKGROUND AND REQUEST: Scherrer Construction Co. Inc has submitted a site plan approval application for 601 Blackhawk Drive construct an 64' x 30' Square foot storage building at the rear of their existing office building in the Burlington Manufacturing and Office Park.. Our review was conducted to determine compliance with City ordinances and good engineering practices.

The following plans were submitted for review as part of the site plan application:

- Site Plan Approval Application dated 4/17/18
- Site Plan, Grading and Erosion control plans

STAFF COMMENTS:

General:

- The project proposes to increase the impervious area of the property by approximately 1920 square feet. Applicability for storm water management practices follows Chapter 270-5 of the Burlington City Code which requires storm water for development sites in excess of one acre. *Post construction storm water management facility is already in place for this project. The storm water facility was installed with construction of the original building and is of adequate size to accommodate the additional runoff.*

RECOMMENDATION: We recommend approval of the submitted site plan.

The plans have been reviewed for conformance with generally accepted engineering practices and City of Burlington policies. Although the material has been reviewed, the design engineer is ultimately responsible for the thoroughness and accuracy of the plans and supplemental data and for compliance with state, county, and other local ordinances and procedures.

Please contact me if you have any questions or comments pertaining to this project.



CITY OF BURLINGTON

Fire Department

165 W. Washington Street, Burlington, WI 53105
(262) 763-7842 – (262) 767-8602 fax
www.burlington-wi.gov

MEMORANDUM

TO: Plan Commission
City of Burlington

FROM: City of Burlington Fire Department
Alan Babe, Fire Chief
Wes Miner, Fire Inspector

DATE: April 27, 2018

SUBJECT: Review of Site Plan Approval Application for construction of a storage building at 601 Blackhawk Drive, Scherrer Construction.

A. PURPOSE

1) Consider for approval the Site Plan Approval Application and Application for construction of a storage building at 601 Blackhawk Drive, Scherrer Construction.

B. BACKGROUND

Scherrer Construction (Applicant) submitted a Site Plan Approval Application on April 17, 2018 to propose construction of a 1,920 Square Foot, S-1 Moderate Hazard Storage Occupancy at 601 Blackhawk Drive, Scherrer Construction.

The following documents were submitted by Scherrer Construction (Applicant) as part of the Site Plan Approval Application:

- a. Site Plan Approval Application (2 sheets, dated April 17, 2018)
- b. Cleary Building Corp. Project Proposal (10 sheets, no date)
- c. Grading and Erosion Control Plan (1 sheet, March 12, 2004)

C. REVIEW OF COMPLIANCE WITH BURLINGTON CODE CHAPTER 155. FIRE PREVENTION, PROTECTION AND CONTROL

No information was submitted regarding the intended use of the storage building. If material or product is stored over 12 feet in height, it will be considered "High Piled Storage" triggering City of Burlington Municipal Code 155-40 "HIGH-PILED COMBUSTIBLE STORAGE".

D. REVIEW OF COMPLIANCE WITH INTERNATIONAL FIRE CODE

City of Burlington Municipal Code 155-40 "HIGH-PILED COMBUSTIBLE STORAGE", adopts the requirements of Chapter 23 of the International Fire Code.

- **2302.1 Definitions:**
 - *HIGH-PILED COMBUSTIBLE STORAGE. Storage of combustible materials in closely packed piles or combustible materials on pallets, in racks or on shelves where the top of storage is greater than 12 feet (3658 mm) in height. When required by the fire code official, high-piled combustible storage also includes certain high-hazard commodities, such as rubber tires, Group A plastics, flammable liquids, idle pallets and similar commodities, where the top of storage is greater than 6 feet (1829 mm) in height.*
- **2303.1 Classification of Commodities.** *Commodities shall be classified as Class I, II, III, IV or high hazard in accordance with this section. Materials listed within each commodity classification are assumed to be unmodified for improved combustibility characteristics. Use of flame-retarding modifiers or the physical form of the material could change the classification. See Section 2303.7 for classification of Group A, B and C plastics.*
- **2303.2 Class I Commodities.** *Class I commodities are essentially noncombustible products on wooden or nonexpanded polyethylene solid deck pallets, in ordinary corrugated cartons with or without single-thickness dividers, or in ordinary paper wrappings with or without pallets. Class I commodities are allowed to contain a limited amount of Group A plastics in accordance with Section 2303.7.4.*
- **2306.1 General.** *Fire protection and life safety features for high-piled storage areas shall be in accordance with Sections 2306.2 through 2306.10.*
- **2306.2 Extent and Type of Protection.** *Where required by Table 2306.2, fire detection systems, smoke and heat removal, draft curtains and automatic sprinkler design densities shall extend the lesser of 15 feet (4572 mm) beyond the high-piled storage area or to a permanent partition. Where portions of high-piled storage areas have different fire protection requirements because of commodity, method of storage or storage height, the fire protection features required by Table 2306.2 within this area shall be based on the most restrictive design requirements.*

HIGH-PILED COMBUSTIBLE STORAGE

**TABLE 2306.2
GENERAL FIRE PROTECTION AND LIFE SAFETY REQUIREMENTS**

COMMODITY CLASS	SIZE OF HIGH-PILED STORAGE AREA* (square feet) (see Sections 2306.2 and 2306.4)	ALL STORAGE AREAS (See Sections 2306, 2307 and 2308)*					SOLID-PILED STORAGE, SHELF STORAGE AND PALLETIZED STORAGE (see Section 2307.3)		
		Automatic fire-extinguishing system (see Section 2306.4)	Fire detection system (see Section 2306.5)	Building access (see Section 2306.6)	Smoke and heat removal (see Section 2306.7)	Draft curtains (see Section 2306.7)	Maximum pile dimension* (feet)	Maximum permissible storage height* (feet)	Maximum pile volume (cubic feet)
	0-500	Not Required*	Not Required	Not Required*	Not Required	Not Required	Not Required	Not Required	Not Required
	501-2,500	Not Required*	Yes†	Not Required*	Not Required	Not Required	100	40	100,000
	2,501-12,000 Public accessible	Yes	Not Required	Not Required*	Not Required	Not Required	100	40	400,000
	2,501-12,000 Nonpublic accessible (Option 1)	Yes	Not Required	Not Required*	Not Required	Not Required	100	40	400,000
I-IV →	2,501-12,000 Nonpublic accessible (Option 2)	Not Required‡	Yes	Yes	Yes†	Yes†	100	30'	200,000
	12,001-20,000	Yes	Not Required	Yes	Yes†	Not Required	100	40	400,000
	20,001-500,000	Yes	Not Required	Yes	Yes†	Not Required	100	40	400,000
	Greater than 500,000†	Yes	Not Required	Yes	Yes†	Not Required	100	40	400,000

E. RECOMMENDATION

Based upon the review of the submitted materials, we recommend that the Plan Commission recommend to the Common Council the **CONDITIONAL APPROVAL** of the Site Plan Application for the proposed construction of a 1,920 Square Foot, S-1 Moderate Hazard Storage Occupancy at 601 Blackhawk Drive, Burlington, WI 53105 based on the following:

- 1) The owner provides documentation from a competent design professional that the intended use of the building and commodities being stored, are in compliance with local code and state code.



CITY OF BURLINGTON

Building & Zoning Department
300 N. Pine Street, Burlington, WI, 53105
(262) 342-1163 – (262) 763-3474 fax
www.burlington-wi.gov

SITE PLAN APPROVAL APPLICATION

REVIEW: \$500.00 Deposit +/- Actual Cost

FOR OFFICE USE ONLY	
DATE FILED:	<u>4/17/18</u>
RECEIVED BY:	<u>KA</u> (Initials)
AMT. PAID:	<u>500</u>

APPLICANT: Scherrer Construction Co., Inc.
ADDRESS: 601 Blackhawk Drive, Burlington, WI 53105 PHONE NO. 262-539-3100
E-MAIL ADDRESS: cnimmow@scherrerconstruction.com
OWNER: Scherrrer Construction Co., Inc.
ADDRESS: 601 Blackhawk Drive, Burlington, WI 53105 PHONE NO. 262-539-3100
SITE ADDRESS: 601 Blackhawk Drive, Burlington, WI 53105
PROPOSED USE: Vehicle & Material Storage PRESENT ZONING: M3
LEGAL DESCRIPTION: Scherrer Construction Accessory Building
(Attach full legal description if needed)

**THE SITE PLAN MUST INCLUDE THE FOLLOWING INFORMATION
(PLEASE LIST ANY ADDITIONAL INFORMATION WHERE APPLICABLE):**

- Site plan drawn to a recognized engineering or architectural scale with graphic scale, shown as well as the date of drawing and the north arrow shown.
- Project title and owner's/developer's name and address noted.
- Architect's and/or engineer's name and address noted.
- Property boundaries and dimensions.
- Abutting property zoning classifications.
- General description of building materials, façade and roof detail.
- Setback lines indicated.
- Easements for access, if any.
- 100-year floodplain identification.
- Existing and proposed topography show at a contour interval of not less than two feet, indicating proposed grade and location of improvements.
- Signage and outdoor lighting – proposed location and details.

N/A Total number of employees: _____ and Hours of operation _____.

N/A Total no. of parking spaced noted. No. of parking spaces provided: _____. Calculations used to arrive at the no. of spaces: _____.

X Type, size and location of all structures with all building dimensions shown.

X Locate existing and general location of proposed sanitary sewers, storm sewers and water-mains.

X Locate any proposed stormwater management facilities, including detention/retention areas. The City of Burlington has a stormwater ordinance in effect.

X Note location, extent and type of proposed landscaping and landscaping plantings and buffers to adjacent property, including fencing or other screening.

X Note, location of pedestrian sidewalks and walkways.

N/A Graphic outline of any development staging that is planned.

X Driveway locations and sizes.

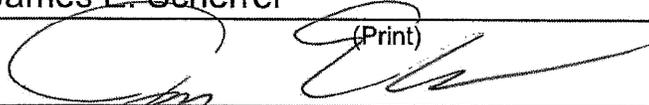
N/A Handicap accessibility.

N/A List environmental concerns, i.e. odor, smoke, noise.

Owner: James E. Scherrer

(Print)

Date: 4/17/2018

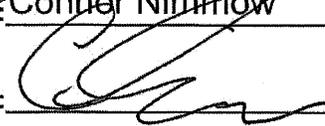
Owner: _____


(Signature)

Applicant: Conner Nimmow

(Print)

Date: 4/17/2018

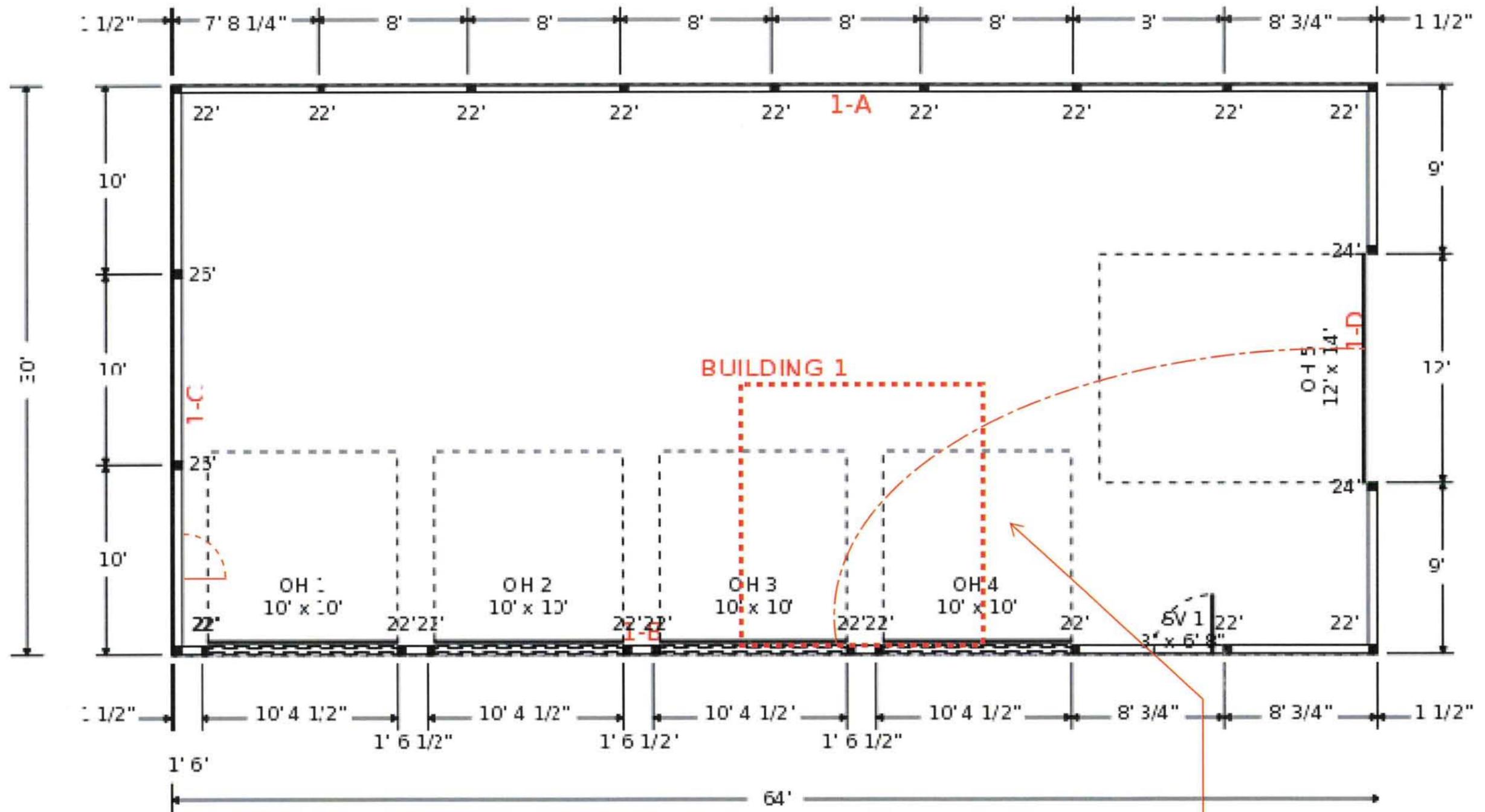
Applicant: _____


(Signature)

Zoning Administrator: _____

(Signature)

Date: _____



Potential Wider OH Door for enhanced maneuverability/forklift/pickup truck access.

- Add-Ons:
- Insulation
 - Insulated OH Doors
 - Larger OH Door
 - Divider Wall
 - Additional Access Door
 - Skylights

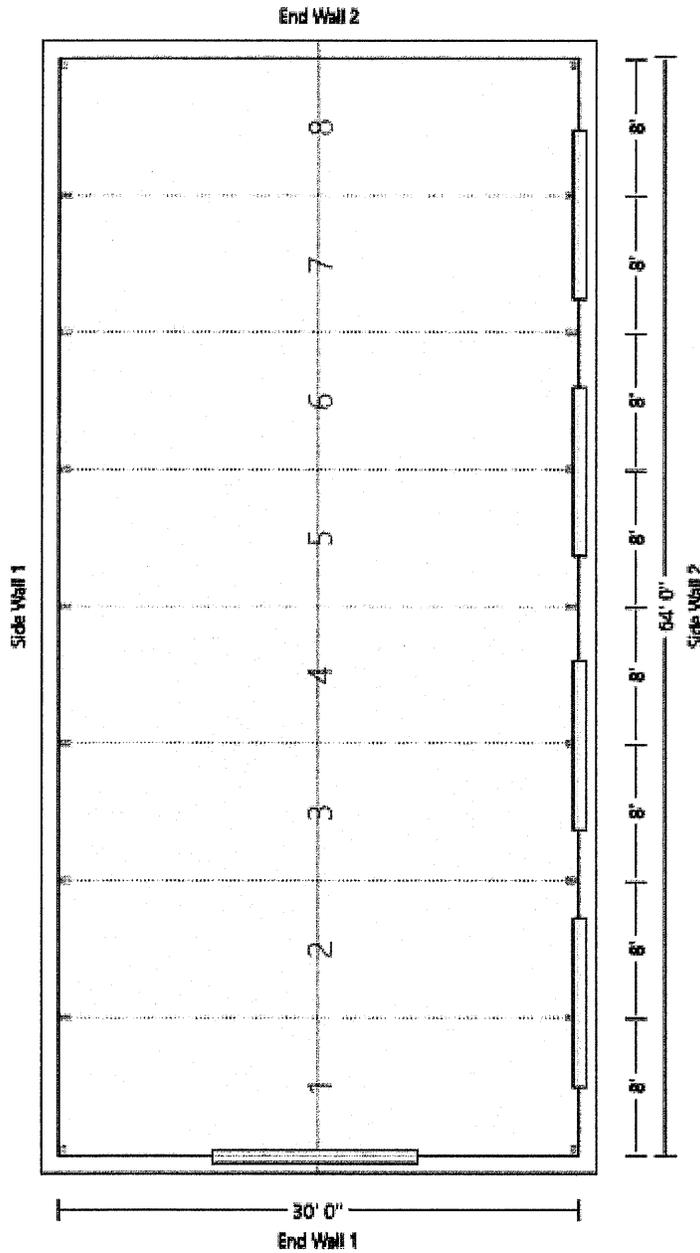


P.O Box 930220
 Verona, WI 53593-0220
 Phone: (608) 845-9700
 Fax: (608) 845-7070

4/12/2018
 NIMMOW, CONNOR
 Doc ID: 3300220180412142034

Cleary/Owner Project Proposal - Erected

Floor Plan





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Cleary/Owner Project Proposal - Erected

Roof Finish and Accessories for Building 1

Exterior Finishes

Roof: Grand Rib 3 Plus

- Lifetime Film Integrity Warranty, 35 Year Fade and Chalk Warranty, and G-90 Galvanizing Up to 1.0 ounce of Zinc Protection.

Ventilation

Roof

Ridge Cap

Standard Ridge Cap.

Marco LP2 Weather-Tite Ridge Vent "Low Profile" (Add ventilation to ridge).

Accessories

Roof

Condensation Control for Building 1: None

Ceiling for Building 1

Ceiling Insulation: No Fiberglass Batt Insulation Included

CeilingType: Liner Panel

Ceiling Nailers: None

Ceiling Hatch: Cleary ceiling hatch (Owner Locate with Foreman on Job Site)

Ceiling Perimeter with Cavity Closure Trim (use when no wall insulation is included)

A total of 0 cut outs are included in this total project (for electrical/plumbing, etc) in the interior finishes, any additional cut outs will be an extra charge.

Elevations for Building 1



South Side Wall 1 on Building 1

Note: These colors are as close to the actual colors as permitted by printing. Actual metal samples must be reviewed with your Sales Specialist. Colors vary depending upon position and angles.

Exterior Finishes

Side Wall 1 on Building 1



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Cleary/Owner Project Proposal - Erected

Siding: Grand Rib 3 Plus

- Lifetime Film Integrity Warranty, 35 Year Fade and Chalk Warranty, and G-90 Galvanizing Up to 1.0 ounce of Zinc Protection.

Wainscot: None

Eave Filler Strips: Filler Strip preformed to steel rib - close at eave-roof & sidewall

Treated Plank Filler Strips: None

Ventilation

Side Wall 1 on Building 1

Overhang: 12" Aluminum soffit (Sidewall) with vented soffit

Insulation Baffle will be used with this overhang to prevent ceiling insulation from moving into the soffit area.

Accessories

Side Wall 1 on Building 1

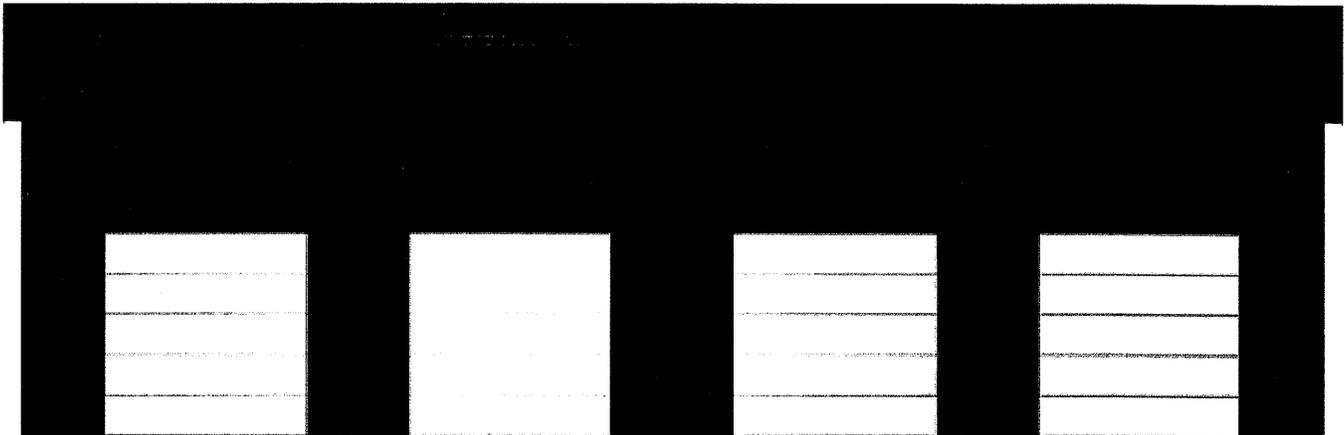
None

Interior Finishes / Insulation

Side Wall 1 on Building 1

Condensation Control: None

Insulation: None



North Side Wall 2 on Building 1

Note: These colors are as close to the actual colors as permitted by printing. Actual metal samples must be reviewed with your Sales Specialist. Colors vary depending upon position and angles.

Exterior Finishes

Side Wall 2 on Building 1

Siding: Grand Rib 3 Plus

- Lifetime Film Integrity Warranty, 35 Year Fade and Chalk Warranty, and G-90 Galvanizing Up to 1.0 ounce of Zinc Protection.

Wainscot: None

Eave Filler Strips: Filler Strip preformed to steel rib - close at eave-roof & sidewall

Treated Plank Filler Strips: None

Ventilation

Side Wall 2 on Building 1

Overhang: 12" Aluminum soffit (Sidewall) with vented soffit



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Phone: (608) 845-9700
Fax: (608) 845-7070

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Doc ID: 3300220180412142034

Cleary/Owner Project Proposal - Erected

Insulation Baffle will be used with this overhang to prevent ceiling insulation from moving into the soffit area.

Accessories

Side Wall 2 on Building 1

Overhead Frame Out(s):

10' 0" Width x 10' 0" Height

Headroom Available: 4' 11"

Additional Header material required: Overhead Frame Out with 13" to 20" of Required Headroom without Liner

Distance from left edge of wall to left edge: 4' 0 1/4"

Distance from 100'+0" mark to bottom of the overhead frame out plus: 0"

OVERHEAD DOOR NOT INCLUDED UNLESS OTHERWISE NOTED IN WRITING IN THE ADDITIONAL BUILDING COMPONENTS SECTION.

10' 0" Width x 10' 0" Height

Headroom Available: 4' 11"

Additional Header material required: Overhead Frame Out with 13" to 20" of Required Headroom without Liner

Distance from left edge of wall to left edge: 19' 0 1/4"

Distance from 100'+0" mark to bottom of the overhead frame out plus: 0"

OVERHEAD DOOR NOT INCLUDED UNLESS OTHERWISE NOTED IN WRITING IN THE ADDITIONAL BUILDING COMPONENTS SECTION.

10' 0" Width x 10' 0" Height

Headroom Available: 4' 11"

Additional Header material required: Overhead Frame Out with 13" to 20" of Required Headroom without Liner

Distance from left edge of wall to left edge: 35' 0 1/4"

Distance from 100'+0" mark to bottom of the overhead frame out plus: 0"

OVERHEAD DOOR NOT INCLUDED UNLESS OTHERWISE NOTED IN WRITING IN THE ADDITIONAL BUILDING COMPONENTS SECTION.

10' 0" Width x 10' 0" Height

Headroom Available: 4' 11"

Additional Header material required: Overhead Frame Out with 13" to 20" of Required Headroom without Liner

Distance from left edge of wall to left edge: 50' 0 1/4"

Distance from 100'+0" mark to bottom of the overhead frame out plus: 0"

OVERHEAD DOOR NOT INCLUDED UNLESS OTHERWISE NOTED IN WRITING IN THE ADDITIONAL BUILDING COMPONENTS SECTION.

Interior Finishes / Insulation

Side Wall 2 on Building 1

Condensation Control: None

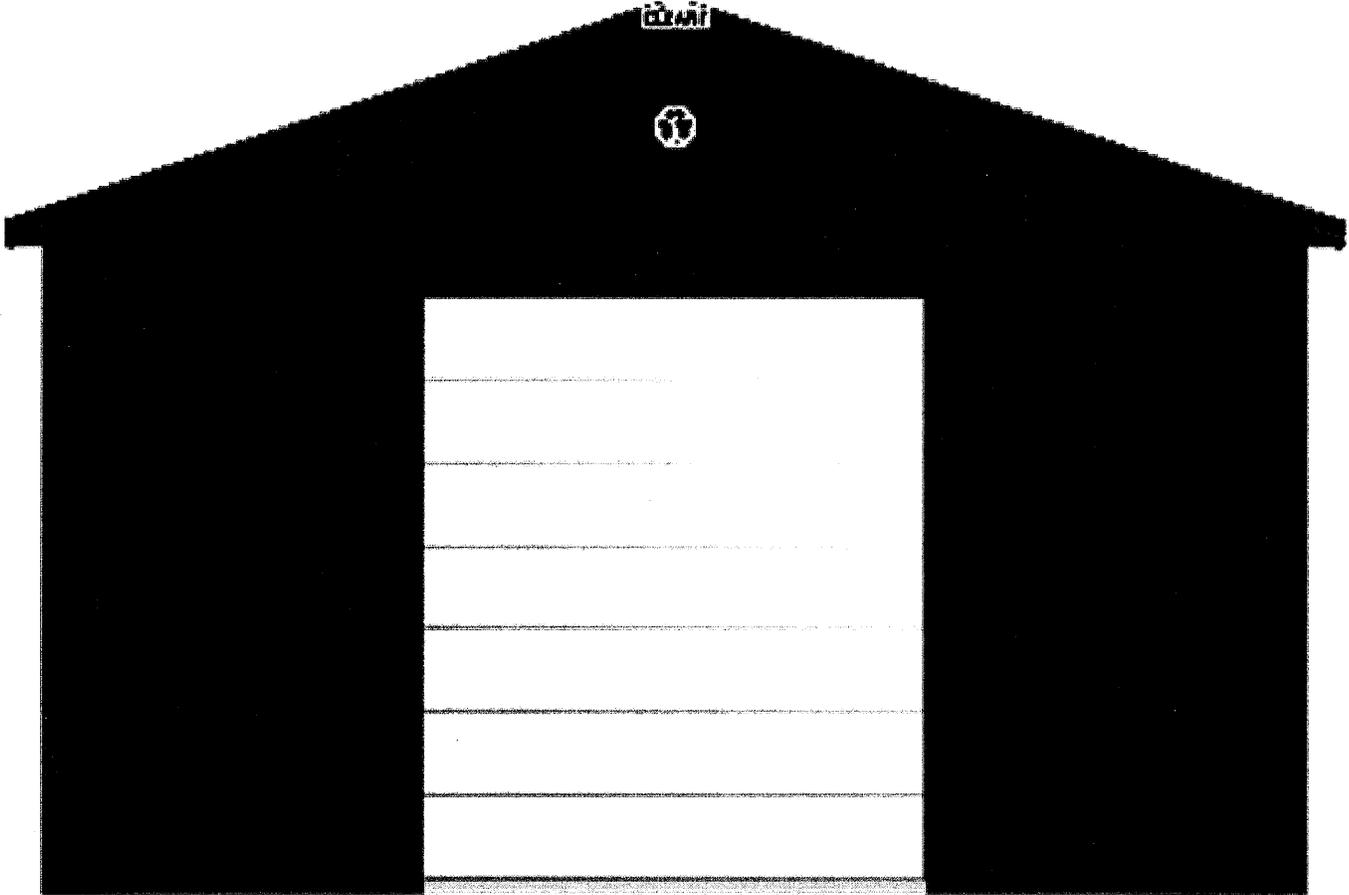
Insulation: None



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Cleary/Owner Project Proposal - Erected



East End Wall 1 on Building 1

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Exterior Finishes

End Wall 1 on Building 1

Siding: Grand Rib 3 Plus

- Lifetime Film Integrity Warranty, 35 Year Fade and Chalk Warranty, and G-90 Galvanizing Up to 1.0 ounce of Zinc Protection.

Wainscot: None

Gable Filler Strips: Gable filler strips not included.

Treated Plank Filler Strips: None

Ventilation

End Wall 1 on Building 1

Overhang: 12" Aluminum soffit (Endwall) with vented soffit

Accessories

End Wall 1 on Building 1

Overhead Frame Out(s):



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Cleary/Owner Project Proposal - Erected

12' 0" Width x 13' 11" Height

Headroom Available: 1' 4"

Additional Header material required: Overhead Frame Out with 13" to 20" of Required Headroom without Liner

Distance from left edge of wall to left edge: 9' 0 1/4"

Distance from 100'+0" mark to bottom of the overhead frame out plus: 4"

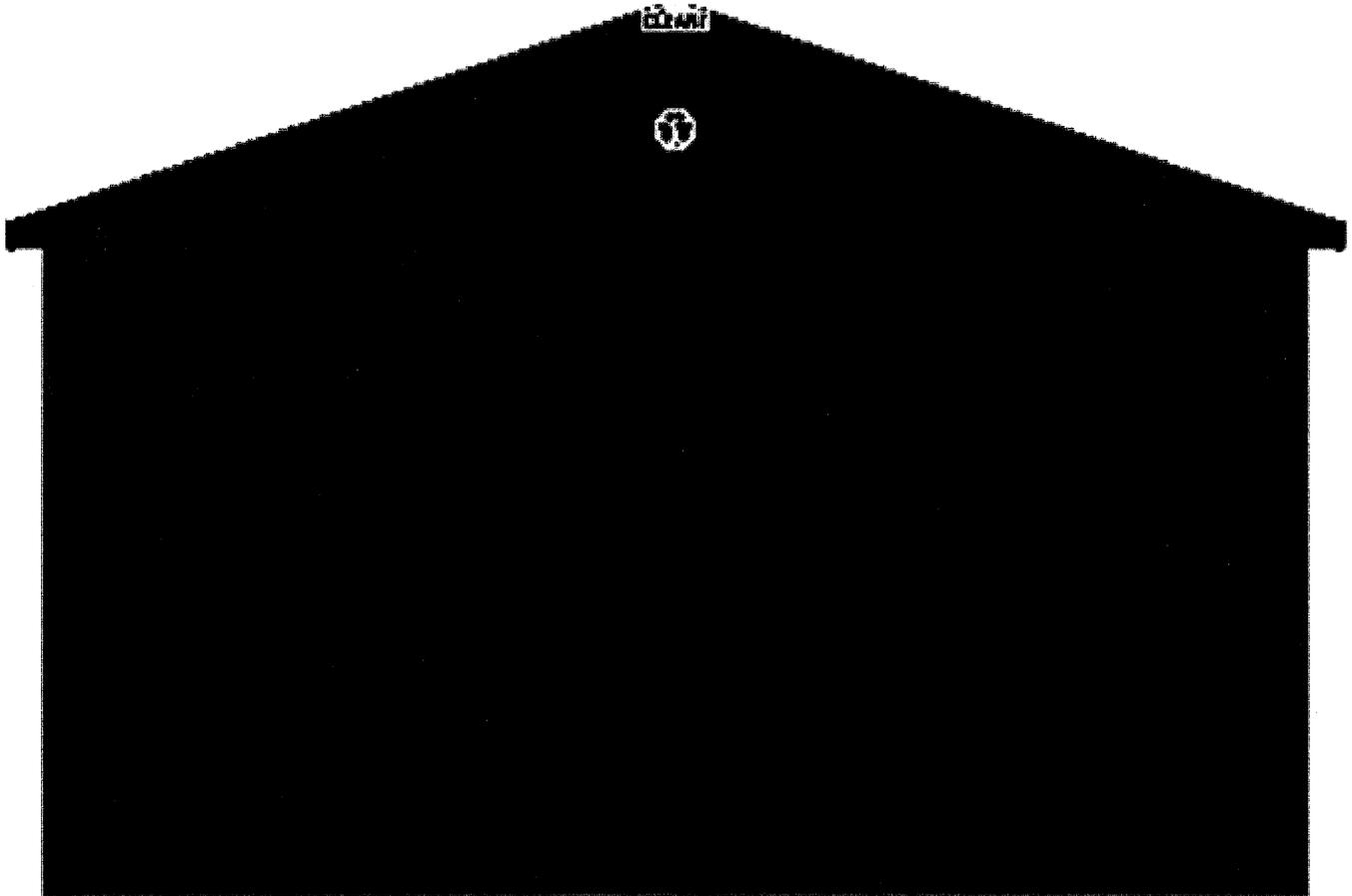
OVERHEAD DOOR NOT INCLUDED UNLESS OTHERWISE NOTED IN WRITING IN THE ADDITIONAL BUILDING COMPONENTS SECTION.

Interior Finishes / Insulation

End Wall 1 on Building 1

Condensation Control: None

Insulation: None



West End Wall 2 on Building 1

Note: These colors are as close to the actual colors as permitted by printing. Actual metal samples must be reviewed with your Sales Specialist. Colors vary depending upon position and angles.

Exterior Finishes

End Wall 2 on Building 1



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Cleary/Owner Project Proposal - Erected

Siding: Grand Rib 3 Plus

- Lifetime Film Integrity Warranty, 35 Year Fade and Chalk Warranty, and G-90 Galvanizing Up to 1.0 ounce of Zinc Protection.

Wainscot: None

Gable Filler Strips: Gable filler strips not included.

Treated Plank Filler Strips: None

Ventilation

End Wall 2 on Building 1

Overhang: 12" Aluminum soffit (Endwall) with vented soffit

Accessories

End Wall 2 on Building 1

None

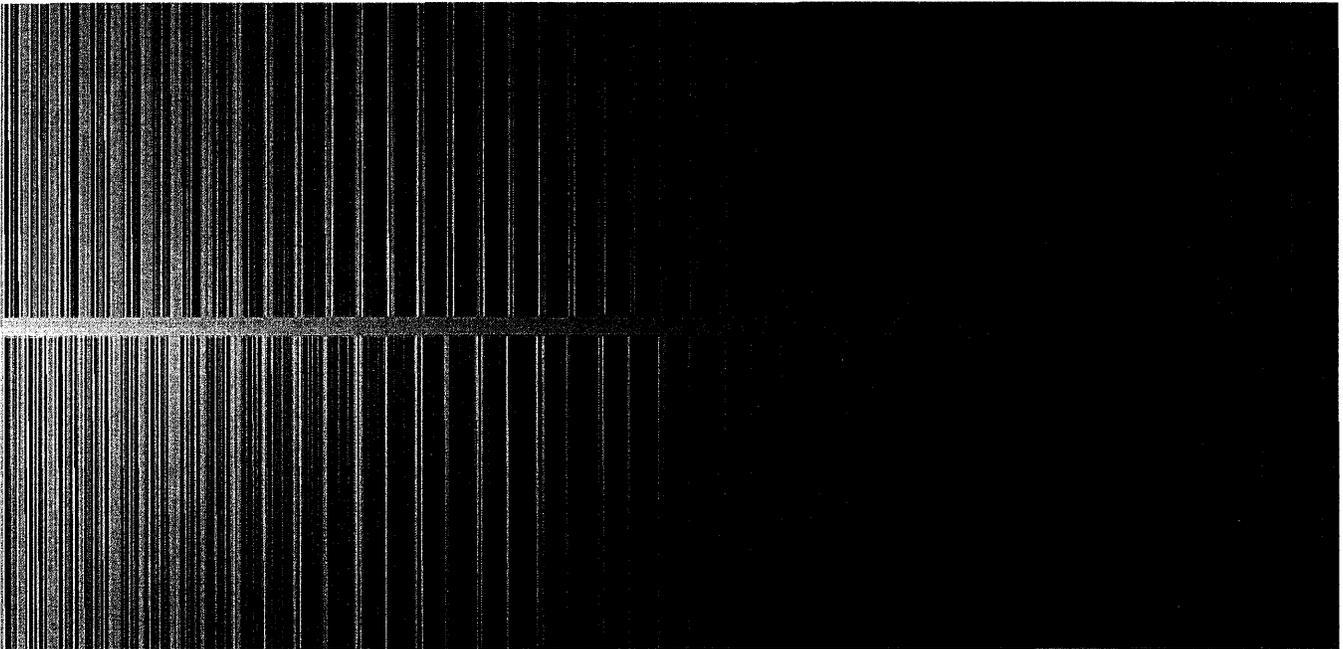
Interior Finishes / Insulation

End Wall 2 on Building 1

Condensation Control: None

Insulation: None

Aerial View



Note: These colors are as close to the actual colors as permitted by printing. Actual metal samples must be reviewed with your Sales Specialist. Colors vary depending upon position and angles.



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Cleary/Owner Project Proposal - Erected

Project Colors

Building

Siding

- Grand Rib 3 Plus: Gallery Blue
- Corner Trim: Charcoal Gray
- Bottom Trim: Charcoal Gray

Roof

- Grand Rib 3 Plus: Charcoal Gray

Trim

- Gable: Charcoal Gray
- Eave/Fascia: Charcoal Gray
- Ridge Cap: Charcoal Gray
- Trim Color Unless Otherwise Specified: Charcoal Gray

Ceiling

- Liner Panel: Snow (Building 1)

Overhangs

Overhangs

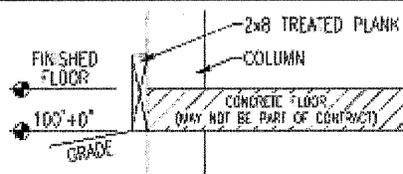
- Soffit: Charcoal Gray
- WallToSoffitTrim: Gallery Blue
- CeilingEnclosureTrim: Charcoal Gray

Overhead Frameouts

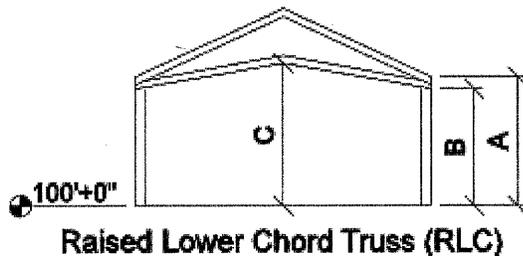
Overhead Frameout

- J-Trim: Charcoal Gray

Truss Type



Note: Clearance may be reduced by finished floor height.

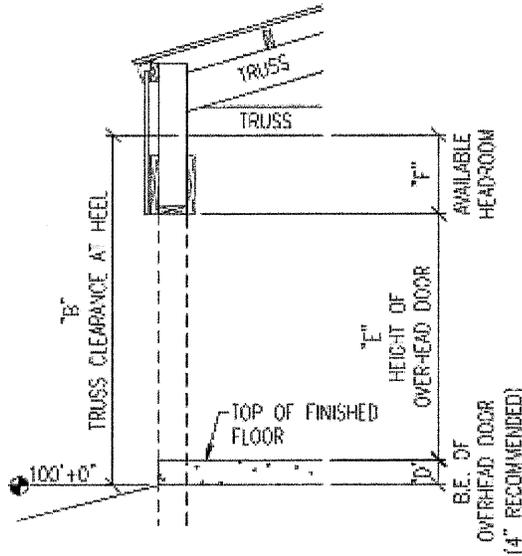


Raised Lower Chord Truss (RLC)

Roof Pitch:	4/12
Roof Peak Height:	21' 4"
"A" = Actual Eave Height:	16' 4"
"B" = Truss clearance at heel:	15' 0"
(Truss clearance = 1'-0" less than nominal eave height, in most cases. If nested purlins are used, truss clearance will be increased by 4".)	
"C" = Truss clearance at center:	16' 1"
(Truss clearance at the center of the building with an RLC truss will be greater than the clearance at the heel.) See page PL-6 in the price book for clearances.	

Cleary/Owner Project Proposal - Erected

Overhead Frameout & Headroom



"D" = Bottom elevation (B.E.) of overhead door: **0' 4"**

The bottom of all overhead doors (top of finished floor) are recommended to be placed at 4" above the 100'-0" mark (100'-4"). In building without paved floors, B.E. of doors may be lower - e.g. 100'-0".

"E" = Height of overhead door: **13' 11"**

Overhead door height = the height of the overhead door being placed in this building.

"F" = Available headroom: **1' 4"**

Available headroom = the space available for overhead door tracks and openers. If a ceiling is installed, headroom will be reduced by about 1". Door headroom requirements must be confirmed with the door supplier.

Headroom calculation formula:

$$("B") - ("D") - ("E") = ("F")$$

$$(\text{Truss Clearance}) - (\text{B.E. of overhead door}) - (\text{Overhead door height}) = (\text{Available headroom})$$

Example:

$$(10'-0") - (4") - (8'-0") = (1'-8" \text{ of available headroom})$$