



**AGENDA**  
**PLAN COMMISSION**  
**Tuesday, June 13, 2017 at 6:30 p.m.**  
**Common Council Chambers, 224 East Jefferson Street**

**Mayor Jeannie Hefty**, Chairman  
**Tom Vos**, Aldermanic Representative  
**Bob Grandi**, Aldermanic Representative  
**Chad Redman**, Commissioner  
**Andy Tully**, Commissioner  
**John Ekes**, Commissioner  
**Art Gardner**, Commissioner

1. Call to Order
2. Roll Call
3. Approval of the minutes of May 9, 2017
4. Letters and Communications:
  - A. Resignation letter from Commissioner Chris Reesman.
5. Citizen Comments
6. Public Hearings: None
7. Old Business:
  - A. Jeff Way is to give an update regarding the violations of the original Conditional Use Permit for property located at 1157 Milwaukee Avenue.
8. New Business:
  - A. Consideration to approve a Site Plan application from Lance Bento for property located at 700 S. Kane Street to expand the parking lot, subject to Graef's June 5, 2017 memorandum to the Plan Commission.
  - B. Consideration to approve a Site Plan application from the City of Burlington for property located at 394 Amanda Street for the Burlington Community Pool Project, subject to Graef's June 8, 2017 and Kapur & Associates' May 30, 2017 memorandums to the Plan Commission.

9. Adjournment.

***Note:** If you are disabled and have accessibility needs or need information interpreted for you, please call the City Clerk's Office at 262-342-1161 at least 24 hours prior to the meeting.*

***Note:** Notice is hereby given that a majority of the members of the Common Council may be present at the meeting. Although this may constitute a quorum of the Council, the Council will not take any action at this meeting.*



**Minutes**  
**City of Burlington Plan Commission**  
**May 9, 2017, 6:30 p.m.**

Alderman Tom Vos called the Plan Commission meeting to order at 6:30 p.m. Roll call: Alderman Bob Grandi; Commissioners Chad Redman; Andy Tully were present. BHS Student Representative, Jack Schoepke was also present. Mayor Jeannie Hefty and Commissioner Chris Reesman were excused.

**APPROVAL OF MINUTES**

Commissioner Redman moved, and Alderman Grandi seconded to approve the minutes of April 11, 2017. All were in favor, and the motion carried.

**LETTERS & COMMUNICATIONS**

City Administrator Carina Walters read two Public Disclosure letters from Alderman Tom Vos and State Representative Robin Vos. The letters state there will be future discussions regarding a potential new facility represented by PSG, Inc. The new facility will house Rojo Popcorn, Troy-Star Packaging and Robin J. Vos Enterprises. Tom Vos has ownership and financial interest in these businesses and is disqualifying himself from participation or voting, since there is a conflict of interest.

**CITIZEN COMMENTS**

None

**PUBLIC HEARINGS**

**A. A Public Hearing to hear public comments regarding a Conditional Use application from Burlington Storage for property located at 1456 S. Pine Street to construct a new storage facility.**

- Alderman Vos opened the Public Hearing at 6:37 p.m.
- Kristian Vaughn, Graef, explained a few concerns will need to be corrected or indicated on the Site Plan, such as the curb and gutter, five required parking spaces with one being handicap accessible and the terrain to be seeded with ground cover after construction.
- There were no further comments.

Commissioner Tully moved, and Alderman Grandi seconded to close the Public Hearing at 6:39 p.m. All were in favor and the motion carried.

**OLD BUSINESS**

**A. Consideration to approve a Conditional Use and Site Plan application from Mike Lewandowski for property located at 996 S. Pine Street to construct a building for marine equipment sales and services that was tabled at the October 13, 2015 meeting and withdrawn at the December 8, 2015 meeting, subject to Patrick Meehan's November 25, 2015 and Kapur & Associates' November 30, 2015 memorandums to the Plan Commission.**

- Alderman Vos opened this item for discussion.
- Alderman Grandi questioned if the sewer situation is still in limbo. Ms. Walters explained she had two meetings with the five owners in regards to extending gravity sanitary sewer running to the other side of Pine Street. The total cost of the sewer only, not including water, to extend to the east side of Pine Street was about \$125,000 and the City would pay about \$30,000 of that. The remaining amount of approximately \$100,000 would be split between the five property owners.
- Commissioner Tully asked if this project includes any land south of the Kwik Trip parcel. Ms. Walters stated the project includes the house located at 928 S. Pine Street south to 1008 S. Pine Street (HJ Faust). Commissioner Tully stated the parcel directly south of Kapur and Associates is not connected and asked if it would be wise to consider having that parcel connected so that everything on the same side of the road up to the bypass would be connected. Ms. Walters responded this project is including the five properties more north of the bypass to be connected to the infrastructure. Alderman Vos questioned if the owners agreed to the assessment. Ms. Walters stated the City would recommend a payback of an assessment of over a 20 year period and waiving the sewer connection fee of about \$1,600, as well as recommend 2 years for the connection.
- Alderman Vos asked if the owner would have to wait until Council approves the sewer project May 16, 2017. Ms. Walters answered it would be a good idea. Mike Lewandowski, 996 S. Pine Street, stated he had 2½ years to plan for changes that were required, so waiting a few more weeks was fine. Alderman Grandi asked if the neighbors are in agreement with the proposal. Ms. Walters stated the majority of the neighbors are on board. Mr. Lewandowski asked if there is a possibility the sewer project may not get approved. Ms. Walters responded yes, there is a chance that it will be denied.
- There were no further comments.

Alderman Grandi moved, and Commissioner Redman seconded to recommend approval of a Conditional Use and Site Plan application contingent on Kapur changes, City Planner's modifications and the approval of the Common Council regarding the Pine Street sewer extension project discussed at the May 16, 2017 meeting.

*All were in favor and the motion carried.*

## **NEW BUSINESS**

### **A. Consideration to recommend approval to the Common Council of an Extraterritorial Certified Survey Map from Paul & Patricia Naber for property located at Stoney Hill Road in the Town of Burlington to subdivide a parcel, subject to Graef's May 3, 2017 memorandum to the Plan Commission.**

- Alderman Vos opened this item for discussion.
- There were no comments.

Commissioner Tully moved, and Alderman Grandi seconded to recommend approval to Common Council of an Extraterritorial Certified Survey Map to subdivide a parcel.

*All were in favor and the motion carried.*

**B. Consideration to approve a Conditional Use and Site Plan from Jason Riehle for property located at 1456 S. Pine Street, to construct a new storage facility, subject to Graef's May 3, 2017 and Kapur & Associates' May 2, 2017 memorandums to the Plan Commission.**

- Alderman Vos opened this item for discussion.
- Alderman Grandi questioned since there is no sewer hook-up, according to Kapur & Associates, would the owner be aware of the possible costs if sewer was needed in the future. Ms. Walters replied yes, should a business change hands or have any other changes the City will work with the property owner. Alderman Vos stated currently there is no sewer on the south side of Pine Street.
- There were no further comments.

Commissioner Tully moved, and Alderman Grandi seconded to approve a Conditional Use and Site Plan to construct a new storage facility.

*All were in favor and the motion carried.*

**ADJOURNMENT**

Commissioner Redman moved, and Alderman Grandi seconded to adjourn the meeting at 6:55 p.m. *All were in favor and the motion carried.*

Recording Secretary  
Kristine Anderson  
Administrative Assistant



**PLAN COMMISSION**

**ITEM NUMBER: 4A**

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**DATE:** June 13, 2017

**SUBJECT:** Resignation letter by Chris Reesman

**SUBMITTED BY:** Gregory Guidry, Building Inspector and Zoning Administrator

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**PROJECT/SCOPE:**

Please see attached correspondence by Chris Reesman.



5-9-17

Mrs. Carina Walters  
City of Burlington

Dear Mrs. Walters,  
I regret to inform you that we will moving our residence out of the City of Burlington and therefore will need to resign from the Plan Commission, effective immediately.

Over the last number of years on the Plan Commission I have had the opportunity on a small scale to observe and participate in how our local government functions and to appreciate the tremendous effort that so many residence and City employees give to the City.

The people of Burlington should specifically be thankful of the efforts of Tom Vos and Darrel Eisenhardt. They continue to provide tremendous civic leadership and they need to be recognized for it. I am not sure many people understand how much these two individuals have donated of their time and talents over the past decades. I have come to respect them a great deal for it, and they are an excellent example for younger residences to look up to.

I would also like to thank Mayor Miller and Mayor Hefty for their vision, sacrifice, and steady leadership. Without leaders like these our City would not be as great as it is.

Best Regards,

Christopher M Reesman



**PLAN COMMISSION**

**ITEM NUMBER: 8A**

**DATE:** June 13, 2017

**SUBJECT:** Consideration to approve a Site Plan application at 700 S. Kane Street.

**SUBMITTED BY:** Gregory Guidry, Building Inspector and Zoning Administrator

**PROJECT/SCOPE:**

This item is to consider approving a Site Plan application from Lance Bento on behalf of We Energies for property located at 700 S. Kane Street. The applicant is proposing to allow for the expansion of the We Energies' parking lot. The proposed project will consist of resurfacing the existing driveways and parking lots, expand the employee parking lot (west side) and pave around the yard's fuel island (east side). The resurfacing of the existing driveways and parking lots is considered to be a maintenance project. The proposed new asphalt will account for an additional 17,140 square feet on site. The expansion of the employee parking lot will add a row of parking along the lot's western edge; and, the asphalt around the fuel island will allow for easier accessibility. The proposed expansion of the employee parking lot will result in removal of four mature trees. The existing tree line along S. Kane Street serves as a visually appealing buffer between street traffic and the We Energies facility.

**ZONING:**

The parcel is zoned M-2, General Manufacturing District.

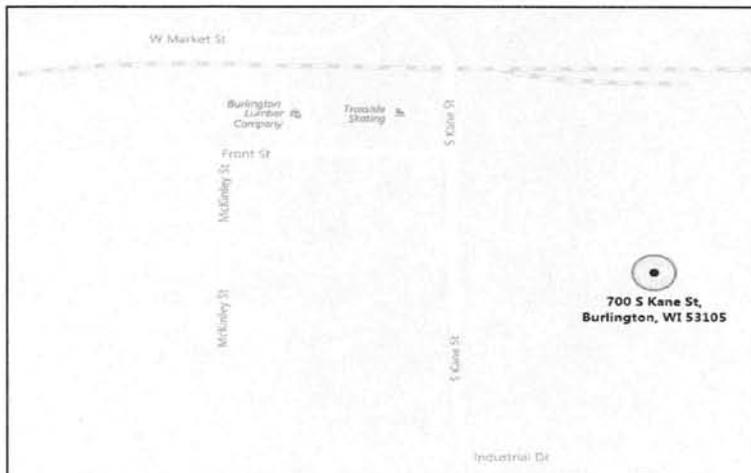
**RECOMMENDATION:**

Graef recommends approval of this Site Plan, subject to items listed in their June 5, 2017 memorandum.

**TIMING/IMPLEMENTATION:**

This item is for consideration at the June 13, 2017 Plan Commission meeting. No further action is necessary.

**MAP:**





One Honey Creek Corporate Center  
125 South 84<sup>th</sup> Street, Suite 401  
Milwaukee, WI 53214-1470  
414 / 259 1500  
414 / 259 0037 fax  
[www.graef-usa.com](http://www.graef-usa.com)

collaborāte / formulāte / innovāte

## MEMORANDUM

**TO:** Plan Commission  
City of Burlington

Copies to: Carina Walters, City Administrator  
Megan Watkins, Director of Administrative Services  
Gregory Guidry, Building Inspector  
Gregory Governatori, City Engineer, Kapur & Associates, Inc.  
John Bjelajac, City Attorney  
Lance Bento, We Energies, Applicant

**FROM:** GRAEF  
Kristian Vaughn  
Tanya Fonseca, AICP

**DATE:** June 5, 2017

**SUBJECT:** Review of Site Plan for We Energies Parking Lot Expansion at 700 South Kane Street,  
Burlington, WI 53105

### A. PURPOSE

- 1) Consider for approval a Site Plan Approval Application from Lance Bento of We Energies for property located at 700 S. Kane Street for a parking lot expansion.

### B. RECOMMENDATION

Based upon the review of the submitted materials, GRAEF recommends that the Plan Commission recommend to the Common Council the **APPROVAL** of the following:

- a. a Site Plan Approval Application from Lance Bento of We Energies for property located at 700 S. Kane Street for a parking lot expansion subject to the following recommendations:
  - (1) It is recommended that the determination of compliance of the parking lot restriping plan with §315-48(B, H, I, & M) related to parking lot configuration and the minimum number of accessible parking spaces be referred back to City staff; and,
  - (2) It is recommended that the curb and gutter requirement and minimum landscape surface ratio requirement in §315-48(D)(5) and (F) be waived.

**C. BACKGROUND**

Lance Bento of We Energies (Applicant) submitted a Site Plan Approval Application for the We Energies facility at 700 South Kane Street, Burlington, WI 53105 to resurface the existing driveways and parking lots, expand the employee parking lot (west side), and pave around the yard's fuel island (east side). The proposed project will occur on parcel 206-02-19-05-013-001 and is zoned M-2 "General Manufacturing District."

The resurfacing of the *existing* driveways and parking lots is considered to be a maintenance project. As the footprints of the north and south driveways, the existing employee parking lot, and the yard will remain the same, it is expected that the paving will be resurfaced in the same way in which it exists at present. In addition, any existing striping is expected to be replaced in kind. This review examined the proposed *new* pavement along the western side of the employee parking lot and around the yard's existing fuel island. The proposed *new* asphalt will account for an additional 17,140 SF on site. The expansion of the employee parking lot will add a row of parking along the lot's western edge; and, the asphalt around the fuel island will allow for easier accessibility.

The proposed expansion of the employee parking lot will result in the removal of four mature trees. The existing tree line along S. Kane Street serves as a visually appealing buffer between street traffic and the We Energies facility. Consideration for the replanting of the removed trees would be appreciated and would serve to maintain a valued landscape buffer in the Burlington Industrial Complex.

The Applicant submitted the following materials:

- a. Site Plan Approval Application form (2 sheets, as prepared by Lance Bento, dated April 24, 2017)
- b. Engineering Drawings – 22"x34" Set (3 sheets, as prepared by Ruckert & Mielke, Inc., dated April 12, 2017)

*It is the understanding of GRAEF that reviews and comments on all engineering-related aspects of the site plan are to be accomplished by the City Engineer. Therefore, GRAEF defers all engineering-related review and comment to the City Engineer.*

**D. COMPLIANCE WITH BURLINGTON ZONING CODE §315-31 "M-2 GENERAL MANUFACTURING DISTRICT"**

The proposed new additions of asphalt pavement at the employee parking lot and at the yard's fuel island are compliant with the setback and yard provisions in §315-31.

**E. COMPLIANCE WITH BURLINGTON ZONING CODE §315-48 "PARKING REQUIREMENTS"**

The proposed site plan on Sheet 2 of the Engineering Drawings does not indicate the restriping plan for the resurfaced and new parking lots, however Paving Note #6 indicates that We Energies will coordinate restriping with the contractor. It is expected that the restriping will be completed in accordance with the following Code provisions in §315-48 "Parking requirements": (B) "Minimum parking space size," (H)

“Parking spaces for use by persons with disabilities,” (I) “Minimum number of off-street parking spaces and on-site queuing required for use types,” and (M) “Minimum width of off-street parking rows and aisles.” A visual inspection of Racine County orthophotography produced a parking space count that indicates that 79 parking spaces, inclusive of 2 accessible parking spaces, currently exist on site. As the total number of parking spaces will increase as a result of this project, the minimum number of accessible parking spaces will need to increase accordingly and comply with Municipal Code Chapter 315 Table 4 “Minimum Number of Accessible Parking Spaces.” The current number of parking spaces requires a minimum of 4 accessible parking spaces: 1 space that is van accessible with a minimum access aisle of 96 inches and 3 accessible parking spaces with a minimum access aisle of 60 inches. It is recommended that the determination of compliance of the restriping plan with §315-48(B, H, I, & M) be referred back to City staff.

The current western parking lot configuration is not bounded by curb and gutter and does not contain landscape islands within the parking lot. To maintain continuity with the resurfacing component of this project, it is recommended that the curb and gutter requirement and minimum landscape surface ratio requirement in §315-48(D)(5) and (F) be waived.

As the additional asphalt at the yard’s fuel island can be interpreted as an extension of the existing vehicle apron on the eastern side of the maintenance structure, the parking requirements are not applicable.

#### **F. COMPLIANCE WITH BURLINGTON ZONING CODE §315-137 “SITE PLANS”**

The site plan is compliant with the requirements in §315-137(A, B, & C).



**CITY OF BURLINGTON**

**Building & Zoning Department**  
300 N. Pine Street, Burlington, WI, 53105  
(262) 342-1163 – (262) 763-3474 fax  
www.burlington-wi.gov

**SITE PLAN APPROVAL APPLICATION**

**REVIEW: \$500.00 Deposit +/- Actual Cost**

<b>FOR OFFICE USE ONLY</b>	
DATE FILED:	<u>5/12/17</u>
RECEIVED BY:	<u>KA</u> (Initials)
AMT. PAID:	<u>500</u>

APPLICANT: We Energies c/o Lance Bento

ADDRESS: 333 W. Everett St. Milwaukee WI PHONE NO. 414 221-6260 FAX NO. \_\_\_\_\_

OWNER: We Energies c/o Lance Bento

ADDRESS: 333 W. Everett St. Milwaukee WI PHONE NO. 414 221-6260 FAX NO. \_\_\_\_\_

SITE ADDRESS: 700 S. Kane Street

PROPOSED USE: M-2 General Manufacturing PRESENT ZONING: M-2 General Manufacturing

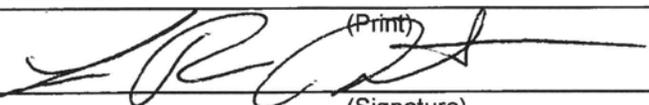
LEGAL DESCRIPTION: PT NE1/4 CSM #1139 IN V3 P346 LOT 2 \*\*TOTAL ACRES\*\* 12.22  
(Attach full legal description if needed)

**THE SITE PLAN MUST INCLUDE THE FOLLOWING INFORMATION  
(PLEASE LIST ANY ADDITIONAL INFORMATION WHERE APPLICABLE):**

- Site plan drawn to a recognized engineering or architectural scale with graphic scale, shown as well as the date of drawing and the north arrow shown.
- Project title and owner's/developer's name and address noted.
- Architect's and/or engineer's name and address noted.
- Property boundaries and dimensions.
- M-2 Abutting property zoning classifications.
- N/A General description of building materials, façade and roof detail.
- Setback lines indicated.
- N/A Easements for access, if any.
- N/A 100-year floodplain identification.
- Existing and proposed topography show at a contour interval of not less than two feet, indicating proposed grade and location of improvements.
- N/A Signage and outdoor lighting – proposed location and details.
- Total number of employees: 64 and Hours of operation 6am to 5pm.

- Total no. of parking spaced noted. No. of parking spaces provided: 80. Calculations used to arrive at the no. of spaces: Aerial imagery.
- Type, size and location of all structures with all building dimensions shown.
- N/A Locate existing and general location of proposed sanitary sewers, storm sewers and watermain.
- N/A Locate any proposed stormwater management facilities, including detention/retention areas. The City of Burlington has a stormwater ordinance in effect.
- N/A Note location, extent and type of proposed landscaping and landscaping plantings and buffers to adjacent property, including fencing or other screening.
- N/A Note, location of pedestrian sidewalks and walkways.
- Graphic outline of any development staging that is planned.
- Driveway locations and sizes.
- Handicap accessibility.
- N/A List environmental concerns, i.e. odor, smoke, noise.

Owner: Lance Bento  
(Print)

Owner:   
(Signature)

Applicant: Lance Bento  
(Print)

Applicant:   
(Signature)

Zoning Administrator: \_\_\_\_\_  
(Signature)

Date: 4/24/17

Date: 4/24/17

Date: \_\_\_\_\_





- PAVING NOTES**
1. CONTRACTOR SHALL RESHAPE PULVERIZED ASPHALT MATERIAL TO MAINTAIN EXISTING DRAINAGE PATTERNS AND TO DIRECT STORM WATER RUNOFF TO EXISTING INLETS. THIS MAY ALSO REQUIRE THE GRADING OF THE YARD AND OR USE OF ADDITIONAL STONE OR MILLINGS TO MAINTAIN DRAINAGE PATTERNS AND TO PROTECT THE EDGES OF THE ASPHALT PAVEMENT WITHIN THE YARD.
  2. CONTRACTOR SHALL COORDINATE WITH OWNER THE SPREADING AND COMPACTION OF EXCESS PULVERIZED MATERIAL. EXCESS MATERIAL NOT UTILIZED BY OWNER SHALL BE HAULED OFFSITE AND PROPERLY DISPOSED OF BY CONTRACTOR.
  3. INLET PROTECTION SHOULD BE INSTALLED TO PROTECT EXISTING ON SITE STORM SEWERS. CONTRACTOR SHALL BE RESPONSIBLE FOR CLEANING AND REPAIR OF STORM SEWER AND STORM SEWER STRUCTURES DAMAGED DUE TO PULVERIZING, SHAPING AND PAVING OPERATIONS.
  4. CONTRACTOR TO PROVIDE 2 1/2-INCH ASPHALTIC BINDER AND 1 1/2-INCH SURFACE COURSE.
  5. CONTRACTOR SHALL PROVIDE MINIMUM 24' WIDE DRIVE AISLE AT WEST END.
  6. CONTRACTOR SHALL COORDINATE WITH OWNER TO RESTRIPE PARKING LOT.

COOP BURLINGTON CONSUMERS  
638 S KANE STREET  
TAX KEY: 206021905013000

WES-CAR LLC  
665 S KANE STREET  
TAX KEY: 206021905020002

HAI BURLINGTON LLC  
681 S KANE STREET  
TAX KEY: 206021905022001

WISCONSIN ELECTRIC PO CO  
700 S KANE STREET  
TAX KEY: 206021905013001

GARY A HENNING & TERRY A PICHLER  
732 S KANE STREET  
TAX KEY: 206021905034001

BURLINGTON 120 PROPERTIES LLC  
120 INDUSTRIAL DRIVE  
TAX KEY: 206021905050001

WD-SEI INVESTMENTS LLC  
130 INDUSTRIAL DRIVE  
TAX KEY: 206021905050002

DAWLEY L A & HOPKINS SL  
140 INDUSTRIAL DRIVE  
TAX KEY: 206021905050003

LARRY A DAWLEY  
170 INDUSTRIAL DRIVE  
TAX KEY: 206021905050004

BREJER & FELL PARTNERSHIP  
160 INDUSTRIAL DRIVE  
TAX KEY: 206021905050005

LYNCH VENTURES LLC  
170 INDUSTRIAL DRIVE  
TAX KEY: 206021905050006

RUEKERT/MIELKE TAKES NO RESPONSIBILITY FOR ANY UNDERGROUND STRUCTURES OR BURIED MATERIALS SUCH AS, BUT NOT LIMITED TO, FOUNDATIONS, WELLS, SEPTIC, HOLDING TANKS, UTILITIES, HAZARDOUS MATERIALS, OR ANY OTHER ITEMS OF WHICH NO EVIDENCE CAN BE FOUND ON THE SURFACE BY A REASONABLE INSPECTION.

PURSUANT TO WISCONSIN STATUTE 182.0175, AVAILABLE DATA ON UNDERGROUND STRUCTURES, CONDUIT AND PIPES HAS BEEN SHOWN ON THIS MAP. THE LOCATIONS SHOWN HAVE BEEN COMPILED FROM A COMBINATION OF EXISTING UTILITY MAPS AND MARKINGS PLACED IN THE FIELD FOR THE VARIOUS FACILITIES BY "DIGGERS HOTLINE" (TICKET NO. ---- AND ----) AND SHALL NOT BE TAKEN AS CONCLUSIVE. FIELD VERIFICATION SHALL BE REQUIRED BEFORE ANY EXCAVATION.

- LEGEND**
- PULVERIZE, RESHAPE, AND 6" OVERLAY ASPHALTIC PAVEMENT (19,057 SF)
  - PULVERIZE, RESHAPE, AND 4" OVERLAY ASPHALTIC PAVEMENT (42,910 SF)
  - MILL WITH 2" OVERLAY ASPHALTIC PAVEMENT (109,141 SF)
  - NEW ASPHALTIC PAVEMENT (17,140 SF)

DRAWN BY:	DATE:
AK2	4/24/2017
CHECKED BY:	DATE:
CMG	4/24/2017

THIS DRAWING PREPARED BY:

**Ruekert • Mielke**

Waukesha • Kenosha • Madison

Chicago • Global Water Center • Fox Valley

[www.ruekertmielke.com](http://www.ruekertmielke.com)

RELEASE FOR FABRICATION:	DATE:	REV:
RELEASE FOR CONSTRUCTION:	DATE:	REV:
RELEASE FOR AS BUILT:	DATE:	REV:

PROPOSED SITE PLAN (SHEET 2 OF 3)

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REV. NO.	DATE	ORDER NO.	REVISION DESCRIPTION	WR. NO.	DRAWN	CHKD.	APVD.	REV. NO.	DATE	ORDER NO.	REVISION DESCRIPTION	WR. NO.	DRAWN	CHKD.	APVD.

MICROFILM NO. \_\_\_\_\_

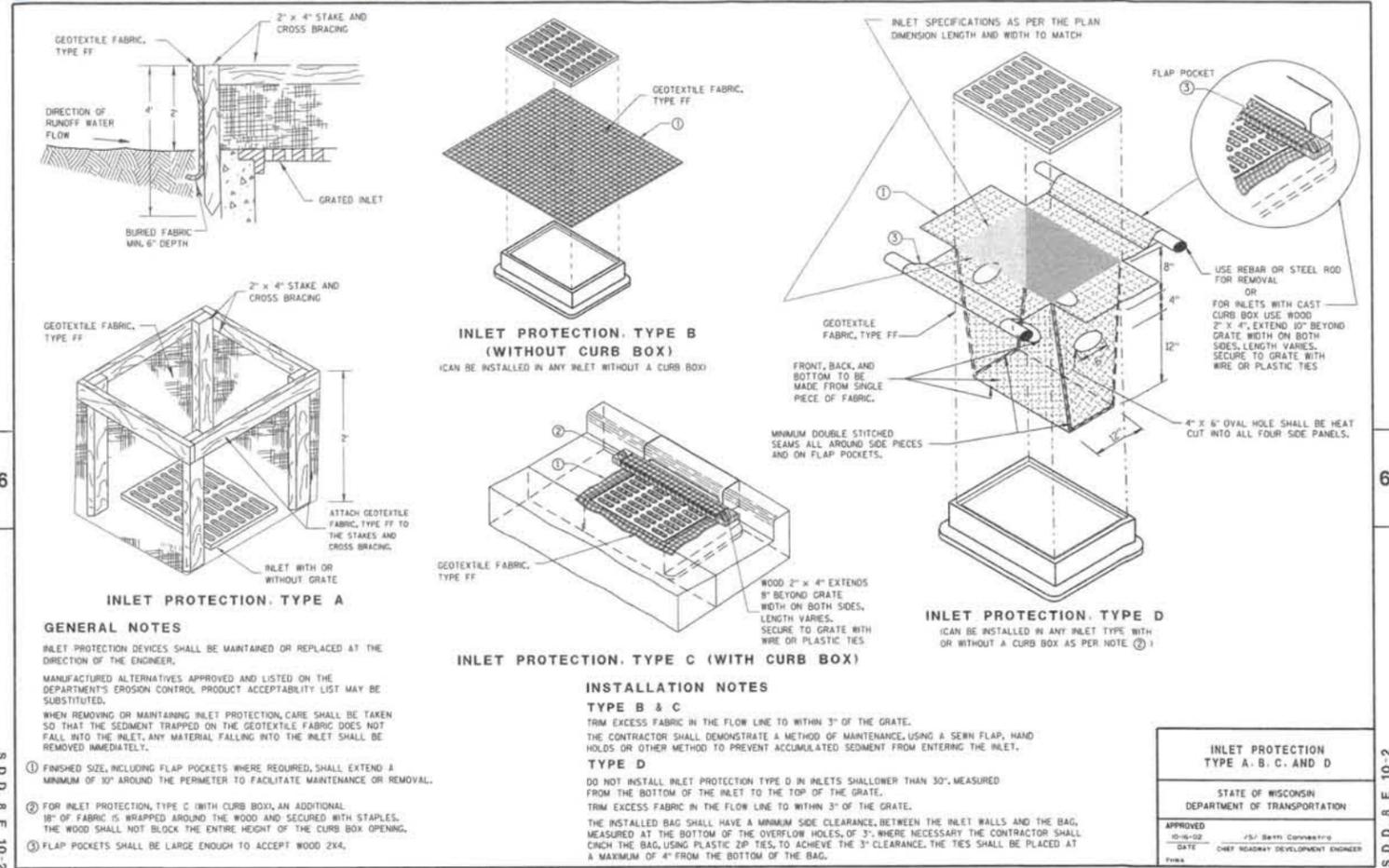
VENDOR NO. \_\_\_\_\_

DRAWN	DATE	ORDER NO.
AK2	4/24/2017	8033-10040
CHECKED	DATE	WR. NO.
CMG	4/24/2017	
APPROVED	DATE	SCALE
CMG	4/24/2017	1"=40'

FILE: \_\_\_\_\_

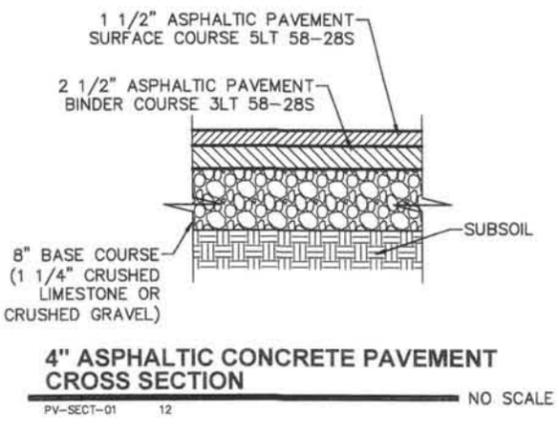
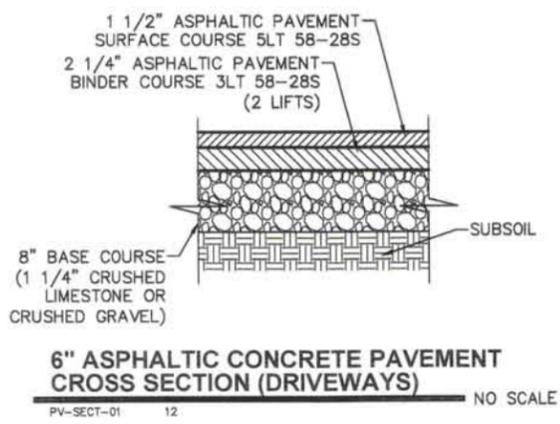
**BURLINGTON SERVICE CENTER**  
NE 1/4, SEC. 5, T. 2 N, R. 19 E.  
SITE PLAN  
CITY OF BURLINGTON  
RACINE COUNTY, WISCONSIN

8E10: Inlet Protection Type A, B, C and D



S.D.D. 8 E 10-2

S.D.D. 8 E 10-2



THIS DRAWING PREPARED BY:  
**Ruekert • Mielke**  
Waukesha • Kenosha • Madison  
Chicago • Global Water Center • Fox Valley  
[www.ruekertmielke.com](http://www.ruekertmielke.com)

RELEASE FOR FABRICATION:	DATE:	REV.:
RELEASE FOR CONSTRUCTION:	DATE:	REV.:
RELEASE FOR AS BUILT:	DATE:	REV.:

CONSTRUCTION DETAILS (SHEET 3 OF 3)

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REV. NO.	DATE	ORDER NO.	REVISION DESCRIPTION	WR. NO.	DRAWN	CHKD	APVD	REV. NO.	DATE	ORDER NO.	REVISION DESCRIPTION	WR. NO.	DRAWN	CHKD	APVD

BURLINGTON SERVICE CENTER  
NE 1/4, SEC. 5, T. 2 N, R. 19 E.  
CONSTRUCTION DETAILS  
CITY OF BURLINGTON  
RACINE COUNTY, WISCONSIN

Apr 28, 2017 9:15am P:\Projects\10040\Area\_V-003-Construction\Details.dwg  
 User: jk...  
 Title: 8E10: Inlet Protection Type A, B, C and D  
 Plot: 8E10: Inlet Protection Type A, B, C and D.dwg  
 Plot Date: 4/28/2017 9:15:00 AM  
 Plot Scale: 1:1  
 Plot Device: HP DesignJet T1100e  
 Plot Path: \\...



**PLAN COMMISSION**

**ITEM NUMBER: 8B**

**DATE:** June 13, 2017

**SUBJECT:** Consideration to approve a Site Plan application at 394 Amanda Street for the Burlington Community Pool Project.

**SUBMITTED BY:** Gregory Guidry, Building Inspector and Zoning Administrator

**PROJECT/SCOPE:**

This item is to consider approving a Site Plan application from the City of Burlington for property located at Devor Park, 394 Amanda Street. The City is proposing to allow for the reconstruction of the community pool facilities and expansion of the parking lot.

**ZONING:**

The parcel is zoned P-1, Park

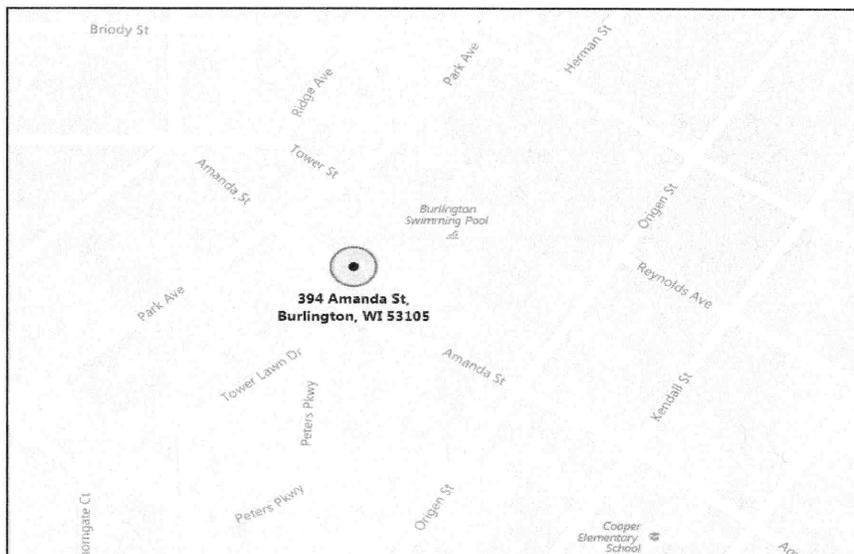
**RECOMMENDATION:**

Graef and Kapur & Associates recommend a conditional approval of this Site Plan, subject to items listed in their June 8, 2017 memorandums.

**TIMING/IMPLEMENTATION:**

This item is for consideration at the June 13, 2017 Plan Commission meeting. No further action is necessary.

**MAP:**





collaborāte / formulāte / innovāte

## MEMORANDUM

**TO:** City of Burlington Staff  
Carina Walters, City Administrator  
Megan Watkins, Director of Administrative Services  
Gregory Guidry, Building Inspector  
Gregory Governatori, City Engineer, Kapur & Associates, Inc.

Blake Theisen, PLA, ASLA, Ayres Associates

**FROM:** GRAEF  
Kristian Vaughn  
Tanya Fonseca, AICP

**DATE:** June 8, 2017

**SUBJECT:** Review of Site Plan for Burlington Community Pool at 394 Amanda Street, Burlington, WI 53105  
in Devor Park

In February 2017, we reviewed the 30% drawings for the Burlington Community Pool at 394 Amanda Street, Burlington, WI 53105. This memorandum serves as a follow-up to our original commentary and documents the partial site plan review we accomplished using the project's Construction Document Set (87 sheets, dated May 26, 2017, as prepared by Ayres Associates Inc. and Iconica Inc.).

We were only able to accomplish a partial site plan review, as the project's lighting plan was omitted from the submittal. Pursuant to Burlington Zoning Code §315-36(G), a compliant lighting plan will need to be submitted.

*It is the understanding of GRAEF that reviews and comments on all engineering-related aspects of the site plan are to be accomplished by the City Engineer. Therefore, GRAEF defers all engineering-related review and comment to the City Engineer.*

### **A. COMPLIANCE WITH BURLINGTON ZONING CODE §315-36 "P-1 PARK DISTRICT"**

The Burlington Community Pool is a permitted use in the P-1 "Park District"; and, the proposed parking lot, pool building, and pools are compliant with the building height, setback, and yards provisions in §315-36(E & F). The project site within Devor Park complies with the lot area and width requirements in §315-36(D).

The project submittal did not include a lighting plan with specification sheets for the fixtures, photometric data, and a plot plan with the site illumination levels required per §315-36(G). A compliant lighting plan will need to be submitted to ensure the surrounding single-family residential parcels do not suffer adverse impacts from light pollution.

**B. COMPLIANCE WITH BURLINGTON ZONING CODE §315-43.1 “WELLHEAD PROTECTION OVERLAY DISTRICT”**

The Burlington Community Pool is a permitted use in the Wellhead Protection Overlay District pursuant to §315-43.1(H)(1)(f) and is compliant.

**C. COMPLIANCE WITH BURLINGTON ZONING CODE §315-48 “PARKING REQUIREMENTS”**

The proposed parking lot configuration on Sheet C201 of the Civil Engineering Drawings is compliant with provisions in §315-48(A, B, D-H, & M).

The proposed parking lot configuration designed 85 parking spaces, inclusive of four accessible spaces. Chapter 315 Table 5 “Off-Street Parking and On-Site Queuing Requirements for Use Types” requires a minimum of 157 spaces for pool users with additional spaces needed for employees. The current parking lot configuration is underparked by a minimum of 72 spaces. While it is reasonable to assume that the surrounding neighborhood can absorb additional parking demand with on-street spaces, the project's parking deficiency should be reviewed to ensure the parking space calculations are correct.

**D. COMPLIANCE WITH BURLINGTON ZONING CODE §315-137 “SITE PLANS”**

The proposed site plan on Sheet C201 of the Civil Engineering Drawings is compliant with provisions in §315-137(B) “Principles and standards of review” and (C)(1-24 & 26-28) “Applications for site plan review.” As a lighting plan was not included in the submittal, the site plan lacks the required information in §315-137(C)(25). A compliant lighting plan needs to be submitted.

**E. COMPLIANCE WITH BURLINGTON ZONING CODE §315-138 “LANDSCAPE PLANS”**

The proposed landscape plan on Sheet C205 of the Civil Engineering Drawings is compliant with §315-138.

**To:** Kristine Anderson, Plan Commission **Date:** May 30, 2017  
**From:** Greg Governatori  
**CC:** Carina Walters, Gregory Guidry, Jim Bergles, Tanya Fonseca, Megan Watkins  
**Subject:** Community Pool Engineering and Storm Water Review

**BACKGROUND AND REQUEST:** Ayres & Associates, in conjunction with Iconica and Scherrer Construction has submitted 90% site plan approval and storm water management calculations for the new community pool located at 400 Amanda Street. The site plans are for a complete demolition and reconstruction of the community pool. The pool will be expanded in size with additional parking and paving. The project will include full pavement removal, new asphalt pavement, a dumpster enclosure, new internal concrete sidewalk, new utilities, accessibility improvements and storm water management. Our review was conducted to determine compliance with City ordinances and good engineering practices.

The following plans were submitted for review:

- Civil Plan Sheets, T100, and C100-609, A dated May 26<sup>th</sup>, 2017 – 45 Sheets in total
- Architectural, structural, mechanical, electrical, and plumbing were also submitted but are referred to the city building inspector for review.
- Storm Water Management Draft information via email, 5/25/2017

Staff has been in consistent communication with the design engineer, architect and contractor in completing the final engineering plans for the community pool. The following comments have been relayed and discussed with the applicant for inclusion prior to final approval. In addition, redline markups and email correspondence have been ongoing to ensure proper development.

**STAFF COMMENTS:**

**General:**

- The interior green space of the parking lot meets the 5% minimum required by zoning 315-48D(5). The engineered storm water facility is considered green space and credit for the interior landscape requirement. The parking lot spaces, drive aisles, accessible stalls and striping all meet minimum city requirements.
- The parking lot may not meet the minimum required setback distance from the right-of-way. The minimum required by zoning 315-48D(1) is eight feet. The property lines are not exact on the drawings, but it appears that the parking has a seven foot setback. The existing parking lot also does not meet the required setback, so this may be considered a replacement of an existing non-conforming use.
- There is no need to remove all the asphalt and base on Amanda Street as shown on the demolition sheet to make the utility connections. A standard utility trench with slurry backfill will work. If you need to remove the entire area as shown then it should be squared off for proper base compaction and paving.

- Our recommendation for curb replacement on Amanda street is to replace the curb and gutter per plan with Burlington standard 30" Type "D" curb, matching top of curb and then overlay the pan with asphalt. The ribbon curb that crosses in front of the new pool driveway should be poured to match the exiting asphalt and inlet grades. If Amanda Street is milled and overlaid in the future it will then match the curb at the driveway.
- The connection to the existing Storm sewer manhole may not work based on the existing pipe size, elevation and angle of connection.
- The land disturbance area will require a Wisconsin DNR state permit for land disturbance and storm water management.
- The Sanitary Lateral requires a cleanout per SPS 382 (every 100'), and as it will be in the pavement it is required to have a frost sleeve, I have attached a typical detail to add to the plans.
- Sheet C201, the light pole references sheet C400, this may be incorrect.
- The Legends do not have the proper styling on C300 and C400

**Storm Water Management (Draft Comments):**

- Make sure you are using the atlas 14 rainfall for Burlington – They look a little on the low side.
- Please eliminate the 5, 25, and 50 year reports from the model
- The Ponding depth of the rear area vs existing condition, and the discharge to the storm sewer on Amanda Street are the two critical components.
- A maintenance agreement is required to be prepared and recorded
- The porosity of the engineer media is .47, Engineered soil is 0.27 (27%) per NR 1004.
- The engineering soil per the technical standard 70% compost/30% sand should have a modeled infiltration rate of 3.6"/HR
- The SLAMM input was not provided, but you can insert 80% into the "Percent Solids Reduction due to Engineered Media" if not done.
- The Landscape plan has three trees proposed directly adjacent to the storm water infiltration basin. Two of the trees are American Hornbeam, which may be okay. The third however is a Black Hills Spruce, which will probably be too large. The trees should need to be placed around the final basin configuration.

**RECOMMENDATION:** We recommend conditional approval of the proposed plans subject to the items as listed in this memorandum, any planning comments, and providing final civil engineering plans prior to construction.

The plans have been reviewed for conformance with generally accepted engineering practices and City of Burlington policies. Although the material has been reviewed, the design engineer is ultimately responsible for the thoroughness and accuracy of the plans and supplemental data and for compliance with state, county, and other local ordinances and procedures.

Please contact me if you have any questions or comments pertaining to this project.



**CITY OF BURLINGTON**

**Building & Zoning Department**  
300 N. Pine Street, Burlington, WI, 53105  
(262) 342-1163 – (262) 763-3474 fax  
www.burlington-wi.gov

**SITE PLAN APPROVAL APPLICATION**

**REVIEW: \$500.00 Deposit +/- Actual Cost**

<b>FOR OFFICE USE ONLY</b>	
DATE FILED:	<u>5/26/17</u>
RECEIVED BY:	<u>KA</u> (Initials)
AMT. PAID:	<u>waived</u>

**APPLICANT:** City of Burlington

**ADDRESS:** 300 N. Pine Street, Burlington, WI **PHONE NO.** 342-1161 **FAX NO.** 763-3474

**OWNER:** City of Burlington

**ADDRESS:** 300 N. Pine Street, Burlington **PHONE NO.** 342-1161 **FAX NO.** \_\_\_\_\_

**SITE ADDRESS:** Devor Park - 394 Amanda Street

**PROPOSED USE:** Burlington Community Pool **PRESENT ZONING:** I-1

**LEGAL DESCRIPTION:** \_\_\_\_\_  
(Attach full legal description if needed)

**THE SITE PLAN MUST INCLUDE THE FOLLOWING INFORMATION  
(PLEASE LIST ANY ADDITIONAL INFORMATION WHERE APPLICABLE):**

- Site plan drawn to a recognized engineering or architectural scale with graphic scale, shown as well as the date of drawing and the north arrow shown.
- Project title and owner's/developer's name and address noted.
- Architect's and/or engineer's name and address noted.
- Property boundaries and dimensions.
- Abutting property zoning classifications.
- General description of building materials, façade and roof detail.
- Setback lines indicated.
- Easements for access, if any.
- 100-year floodplain identification.
- Existing and proposed topography show at a contour interval of not less than two feet, indicating proposed grade and location of improvements.
- Signage and outdoor lighting – proposed location and details.
- Total number of employees: Total is unknown at this time and Hours of operation 1:00 - 8:00 pm daily.

- Total no. of parking spaced noted. No. of parking spaces provided: 85. Calculations used to arrive at the no. of spaces: \_\_\_\_\_.
- Type, size and location of all structures with all building dimensions shown.
- Locate existing and general location of proposed sanitary sewers, storm sewers and watermains.
- Locate any proposed stormwater management facilities, including detention/retention areas. The City of Burlington has a stormwater ordinance in effect.
- Note location, extent and type of proposed landscaping and landscaping plantings and buffers to adjacent property, including fencing or other screening.
- Note, location of pedestrian sidewalks and walkways.
- Graphic outline of any development staging that is planned.
- Driveway locations and sizes.
- Handicap accessibility.
- List environmental concerns, i.e. odor, smoke, noise.

Owner: Carina G. Walters

Date: 5/26/17

Owner: Carina G. Walters  
(Signature)

Applicant: \_\_\_\_\_  
(Print)

Date: \_\_\_\_\_

Applicant: \_\_\_\_\_  
(Signature)

Zoning Administrator: \_\_\_\_\_  
(Signature)

Date: \_\_\_\_\_

# CONSTRUCTION DOCUMENT SET

## BURLINGTON COMMUNITY POOL

City of Burlington, Racine County, Wisconsin

May 26, 2017

City of Burlington  
300 North Pine Street  
Burlington, WI 53105

### Sheet Index

Sheet No.	Sheet Title
T100	TITLE SHEET
<b>CIVIL</b>	
C100	EXISTING CONDITIONS
C101	DEMOLITION & EROSION CONTROL PLAN
C102	GENERAL NOTES
C200	SITE LAYOUT PLAN
C201	SITE LAYOUT PLAN
C202	POOL DECK LAYOUT PLAN
C203	SITE PAVEMENT & SURFACING PLAN
C204	PLAYGROUND LAYOUT
C205	LANDSCAPE PLAN
C300	SITE GRADING PLAN
C301	POOL DECK GRADING PLAN
C400	SITE UTILITY PLAN
C401	DECK DRAIN PLAN
C500	LAP POOL PLAN
C501	LAP POOL CROSS SECTIONS
C502	ACTIVITY POOL PLAN
C503	ACTIVITY POOL CROSS SECTIONS
C504	POOL DETAILS
C510	OVERALL SITE PIPING PLAN
C511	LAP POOL PIPING PLAN
C512	ACTIVITY POOL PIPING PLAN
C515	ENLARGED POOL MECHANICAL ROOM PLAN
C516	POOL P&ID DIAGRAMS
C517	POOL ELECTRICAL P&ID DIAGRAMS
C520	DETAILS - POOL FEATURES
C521	DETAILS - POOL FEATURES
C522	DETAILS - POOL FEATURES
C523	DETAILS - POOL FEATURES
C524	DETAILS - POOL FEATURES
C525	DETAILS - POOL FEATURES
C526	DETAILS - POOL FEATURES
C527	DETAILS - POOL FEATURES
C528	DETAILS - POOL FEATURES
C529	DETAILS - POOL FEATURES
C600	DETAILS
C601	DETAILS
C602	DETAILS
C603	DETAILS
C604	DETAILS
C605	DETAILS
C606	DETAILS
C607	DETAILS
C608	DETAILS
C609	DETAILS

Aerial



Vicinity Map



Sheet No.	Sheet Title	Sheet No.	Sheet Title
<b>ARCHITECTURAL</b>		<b>STRUCTURAL</b>	
A002	CODE PLAN	S001	GENERAL STRUCTURAL NOTES
A201	FLOOR PLAN	S100	FOUNDATION PLAN
A202	DIMENSIONED FLOOR PLAN	S202	ROOF FRAMING PLAN
A203	ROOF PLAN	S300	FOUNDATION DETAILS
A301	BUILDING ELEVATIONS	S400	FRAMING DETAILS
A302	BUILDING ELEVATIONS		
A401	BUILDING SECTIONS	<b>ELECTRICAL</b>	
A402	BUILDING SECTIONS	E001	ABBREVIATIONS, SYMBOLS AND NOTES
A410	WALL SECTIONS	E100	ELECTRICAL SITE PLAN
A411	WALL SECTIONS	E201L	FIRST FLOOR LIGHTING PLAN
A531	PLAN AND SECTION DETAILS	E201P	FIRST FLOOR POWER PLAN
A532	PLAN AND SECTION DETAILS	E701	SCHEDULES
A601	INTERIOR ELEVATION PLAN & DETAILS	<b>MECHANICAL</b>	
A602	INTERIOR ELEVATIONS	M001	ABBREVIATIONS, SYMBOLS AND NOTES
A603	INTERIOR ELEVATIONS	M200	RADIANT FLOOR HEATING PLAN
A700	DOOR AND WINDOW TYPES	M201	FIRST FLOOR MECHANICAL PLAN
A701	WALL TYPES	M501	MECHANICAL DETAILS
A801	REFLECTED CEILING PLAN	M701	MECHANICAL SCHEDULES
I201	FIRST FLOOR FINISH PLAN	<b>PLUMBING</b>	
I501	INTERIOR FINISH SCHEDULES & DETAILS	P100	PLUMBING SITE PLAN
		P200	BELOW GRADE PLUMBING PLANS
		P201	FIRST FLOOR PLUMBING PLAN
		P501	PLUMBING DETAILS
		P700	PLUMBING SCHEDULES
		P901	WASTE & VENT RISER
		P902	WATER SUPPLY RISER

NOTES:

- BIDDING QUESTIONS SHALL BE REFERRED TO BLAKE THEISEN AT AYRES ASSOCIATES, (608) 255-0800.
- EXISTING TOPOGRAPHIC SURVEY COMPLETED BY AYRES ASSOCIATES IN JUNE 2016.

CIVIL ENGINEER  
AYRES ASSOCIATES  
101 EAST BADGER ROAD  
MADISON, WI 53713  
608-255-0800

LANDSCAPE ARCHITECT  
AYRES ASSOCIATES  
101 EAST BADGER ROAD  
MADISON, WI 53713  
608-255-0800

ARCHITECT, ELECTRICAL  
ENGINEER & PLUMBING  
ICONICA  
901 DEMING WAY  
MADISON, WI 53717  
608-664-3500

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**AYRES ASSOCIATES**  
101 East Badger Road  
Madison, WI 53713  
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901 Deming Way // Madison, WI 53717  
Ph: 608.664.3500 // Fx: 608.664.3535  
iconicacreatives.com

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**BURLINGTON COMMUNITY POOL**  
394 Amanda Street, Burlington, WI 53105

**TITLE SHEET**

Revision	Date

Drawn By:  
Checked By:  
Issued For: BIDDING  
Project No. 27-1051  
Date: 5/26/2017  
Sheet Number

**DIGGERS! HOTLINE**  
Dial 811 or (800) 242-8511  
www.DiggersHotline.com

T100

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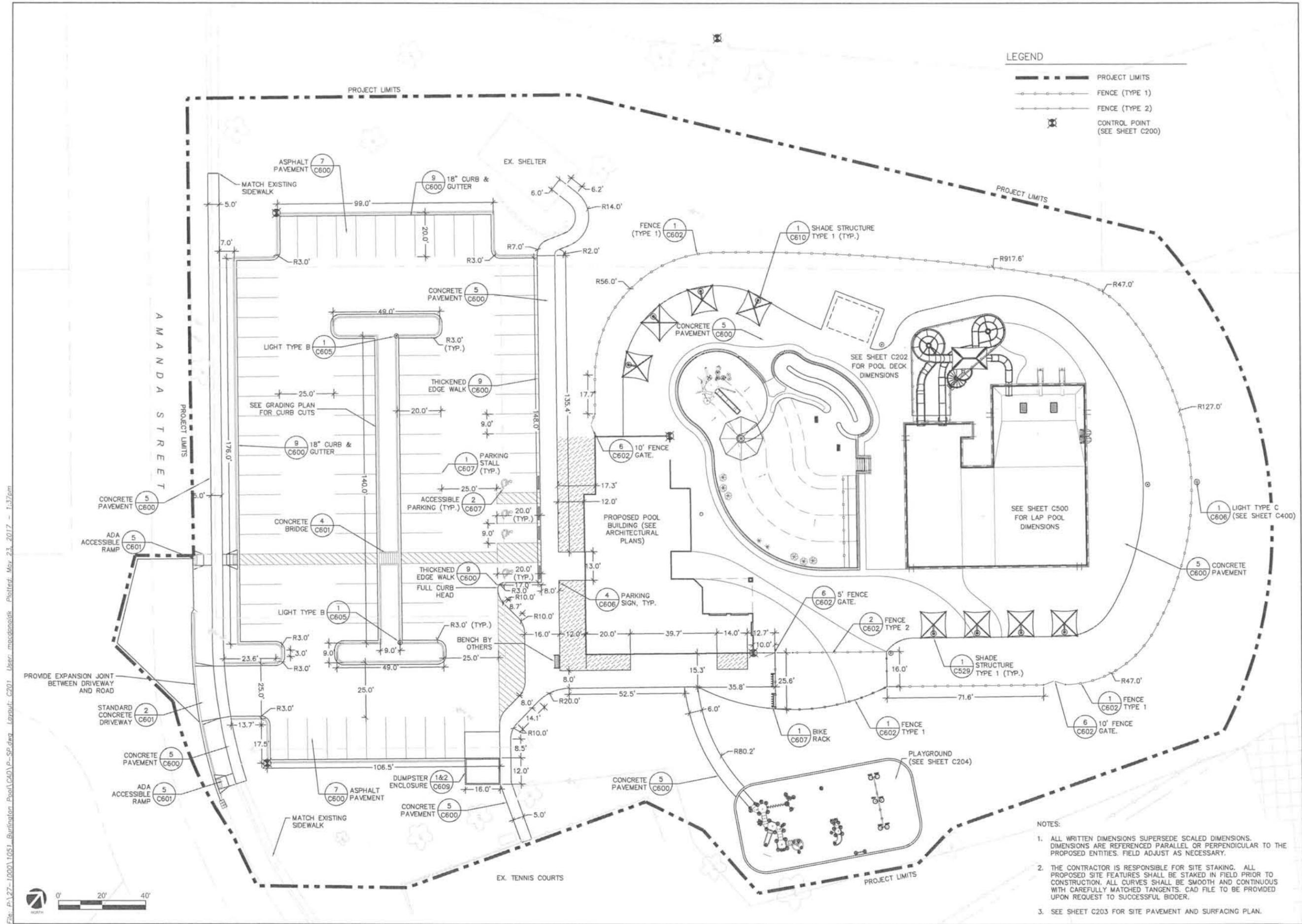
**BURLINGTON COMMUNITY POOL**  
 394 Amanda Street, Burlington, WI 53105



Revision \_\_\_\_\_ Date \_\_\_\_\_

Drawn By: KM  
 Checked By: BT  
 Issued For: BIDDING  
 Project No. 27-1051  
 Date: 5/26/2017  
 Sheet Number \_\_\_\_\_

**C201**

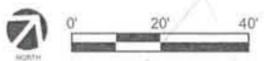


**LEGEND**

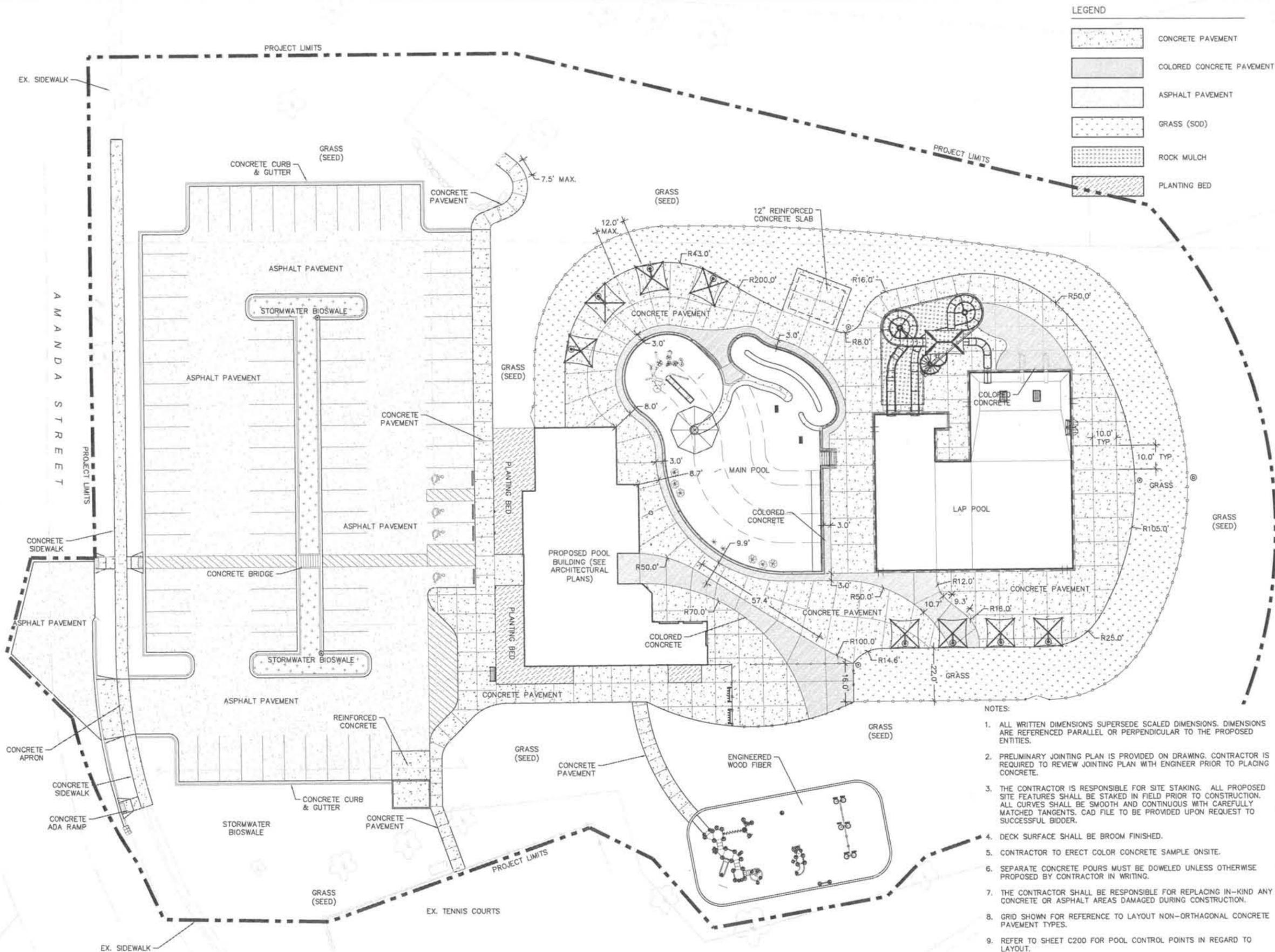
- PROJECT LIMITS
- FENCE (TYPE 1)
- FENCE (TYPE 2)
- ⊗ CONTROL POINT (SEE SHEET C200)

- NOTES:**
- ALL WRITTEN DIMENSIONS SUPERSEDE SCALED DIMENSIONS. DIMENSIONS ARE REFERENCED PARALLEL OR PERPENDICULAR TO THE PROPOSED ENTITIES. FIELD ADJUST AS NECESSARY.
  - THE CONTRACTOR IS RESPONSIBLE FOR SITE STAKING. ALL PROPOSED SITE FEATURES SHALL BE STAKED IN FIELD PRIOR TO CONSTRUCTION. ALL CURVES SHALL BE SMOOTH AND CONTINUOUS WITH CAREFULLY MATCHED TANGENTS. CAD FILE TO BE PROVIDED UPON REQUEST TO SUCCESSFUL BIDDER.
  - SEE SHEET C203 FOR SITE PAVEMENT AND SURFACING PLAN.

File: P:\27-1051\Burlington\_Pool\CAD\P-SP.dwg Layout: C201 User: macedonick Plotfile: May 23, 2017 - 1:37pm



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**LEGEND**

	CONCRETE PAVEMENT
	COLORED CONCRETE PAVEMENT
	ASPHALT PAVEMENT
	GRASS (SOD)
	ROCK MULCH
	PLANTING BED

- NOTES:**
1. ALL WRITTEN DIMENSIONS SUPERSEDE SCALED DIMENSIONS. DIMENSIONS ARE REFERENCED PARALLEL OR PERPENDICULAR TO THE PROPOSED ENTITIES.
  2. PRELIMINARY JOINTING PLAN IS PROVIDED ON DRAWING. CONTRACTOR IS REQUIRED TO REVIEW JOINTING PLAN WITH ENGINEER PRIOR TO PLACING CONCRETE.
  3. THE CONTRACTOR IS RESPONSIBLE FOR SITE STAKING. ALL PROPOSED SITE FEATURES SHALL BE STAKED IN FIELD PRIOR TO CONSTRUCTION. ALL CURVES SHALL BE SMOOTH AND CONTINUOUS WITH CAREFULLY MATCHED TANGENTS. CAD FILE TO BE PROVIDED UPON REQUEST TO SUCCESSFUL BIDDER.
  4. DECK SURFACE SHALL BE BROOM FINISHED.
  5. CONTRACTOR TO ERECT COLOR CONCRETE SAMPLE ONSITE.
  6. SEPARATE CONCRETE POURS MUST BE DOWELED UNLESS OTHERWISE PROPOSED BY CONTRACTOR IN WRITING.
  7. THE CONTRACTOR SHALL BE RESPONSIBLE FOR REPLACING IN-KIND ANY CONCRETE OR ASPHALT AREAS DAMAGED DURING CONSTRUCTION.
  8. GRID SHOWN FOR REFERENCE TO LAYOUT NON-ORTHOGONAL CONCRETE PAVEMENT TYPES.
  9. REFER TO SHEET C200 FOR POOL CONTROL POINTS IN REGARD TO LAYOUT.
  10. LAWN WITHIN FENCED LIMITS OF POOL AREA TO BE SOD, LAWN OUTSIDE FENCED LIMITS TO BE SEEDED. SEEDED AREA NOT SHOWN IN HATCH LEGEND.



**AYRES ASSOCIATES**  
 101 East Badger Road  
 Madison, WI 53713  
 608.255.0800  
 www.AyresAssociates.com

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**BURLINGTON COMMUNITY POOL**  
 394 Amanda Street, Burlington, WI 53105

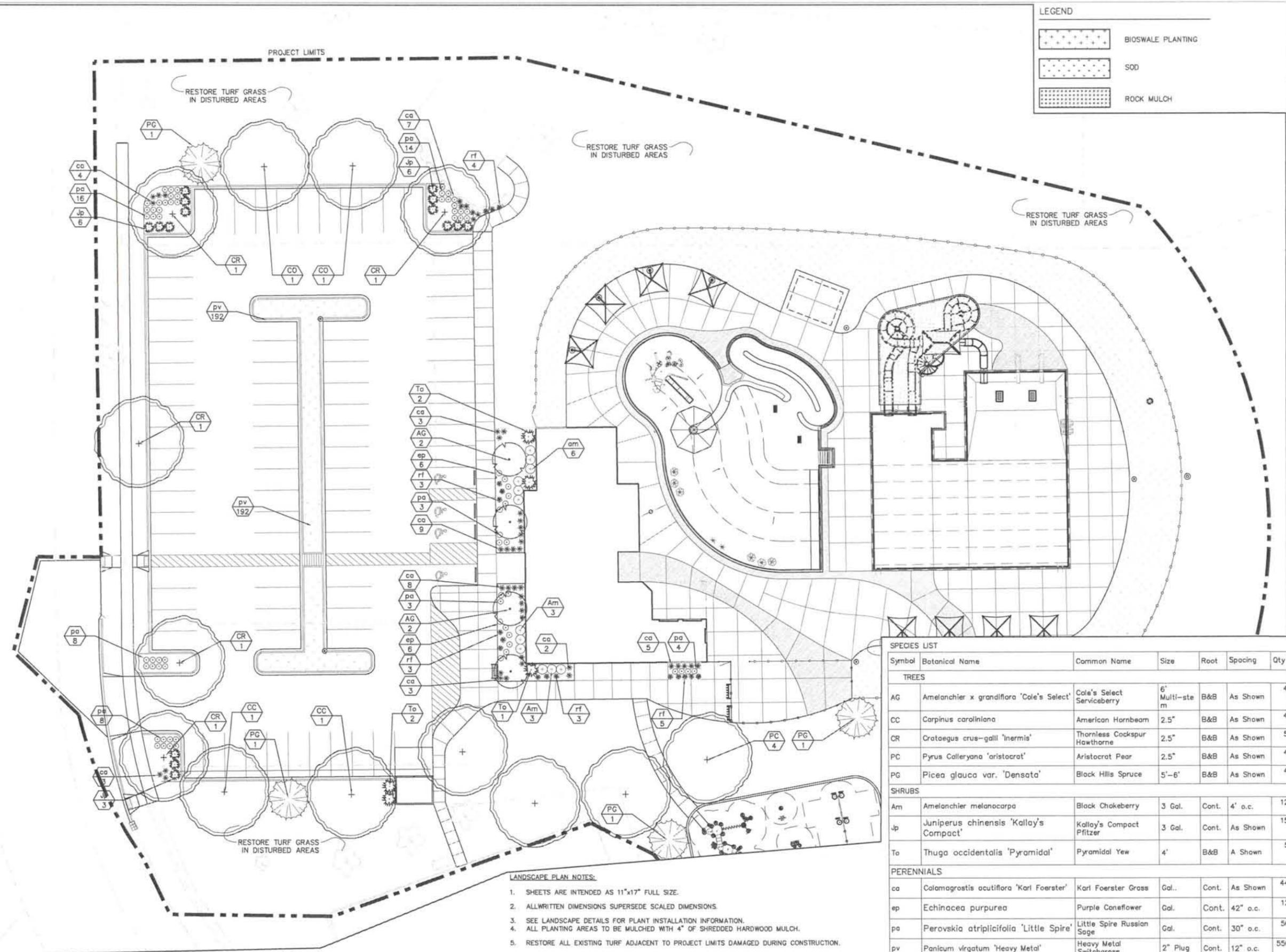


Revision	Date

Drawn By: KM  
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 Project No. 27-1051  
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 Sheet Number

**C203**

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**LEGEND**

	BIOSWALE PLANTING
	SOD
	ROCK MULCH

- LANDSCAPE PLAN NOTES:**
1. SHEETS ARE INTENDED AS 11"x17" FULL SIZE.
  2. ALL WRITTEN DIMENSIONS SUPERSEDE SCALED DIMENSIONS.
  3. SEE LANDSCAPE DETAILS FOR PLANT INSTALLATION INFORMATION.
  4. ALL PLANTING AREAS TO BE MULCHED WITH 4" OF SHREDDED HARDWOOD MULCH.
  5. RESTORE ALL EXISTING TURF ADJACENT TO PROJECT LIMITS DAMAGED DURING CONSTRUCTION.
  6. THE PROPOSED IMPROVEMENTS SHOWN ON THESE DRAWINGS ARE SUPERIMPOSED ON A BASE SHEET. THIS BASE SHEET IS COMPILED FROM THE TOPOGRAPHIC SURVEY, OTHER ARCHITECTURAL AND/OR ENGINEERING DOCUMENTS, AND OTHER DATA AS MADE AVAILABLE TO THE PROFESSIONAL ENGINEER. THIS BASE SHEET INFORMATION IS SHOWN IN HALF TONE ON THE PLANS. THE PROFESSIONAL ENGINEER SHALL NOT BE HELD LIABLE FOR CHANGES, INACCURACIES, OMISSIONS, OR OTHER ERRORS ON THESE DOCUMENTS.

**SPECIES LIST**

Symbol	Botanical Name	Common Name	Size	Root	Spacing	Qty
<b>TREES</b>						
AG	Amelanchier x grandiflora 'Cole's Select'	Cole's Select Serviceberry	6' Multi-stem	B&B	As Shown	4
CC	Carpinus caroliniana	American Hornbeam	2.5"	B&B	As Shown	4
CR	Crataegus crus-galli 'Inermis'	Thornless Cockspur Hawthorne	2.5"	B&B	As Shown	5
PC	Pyrus Calleryana 'aristocrat'	Aristocrat Pear	2.5"	B&B	As Shown	4
PG	Picea glauca var. 'Densata'	Black Hills Spruce	5'-6'	B&B	As Shown	4
<b>SHRUBS</b>						
Am	Amelanchier melanocarpa	Black Chokeberry	3 Gal.	Cont.	4' o.c.	12
Jp	Juniperus chinensis 'Kalay's Compact'	Kalay's Compact Pfitzer	3 Gal.	Cont.	As Shown	15
To	Thuja occidentalis 'Pyramidal'	Pyramidal Yew	4'	B&B	As Shown	5
<b>PERENNIALS</b>						
ca	Calamagrostis acutiflora 'Karl Foerster'	Karl Foerster Grass	Gal.	Cont.	As Shown	44
ep	Echinacea purpurea	Purple Coneflower	Gal.	Cont.	42" o.c.	12
pa	Perovskia atriplicifolia 'Little Spire'	Little Spire Russian Sage	Gal.	Cont.	30" o.c.	56
pv	Panicum virgatum 'Heavy Metal'	Heavy Metal Switchgrass	2" Plug	Cont.	12" o.c.	556
rf	Rudebeckia fulgida va. Deamii	Deamii Black-eyed Susan	Gal.	Cont.	As Shown	18



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 iconicaonline.com

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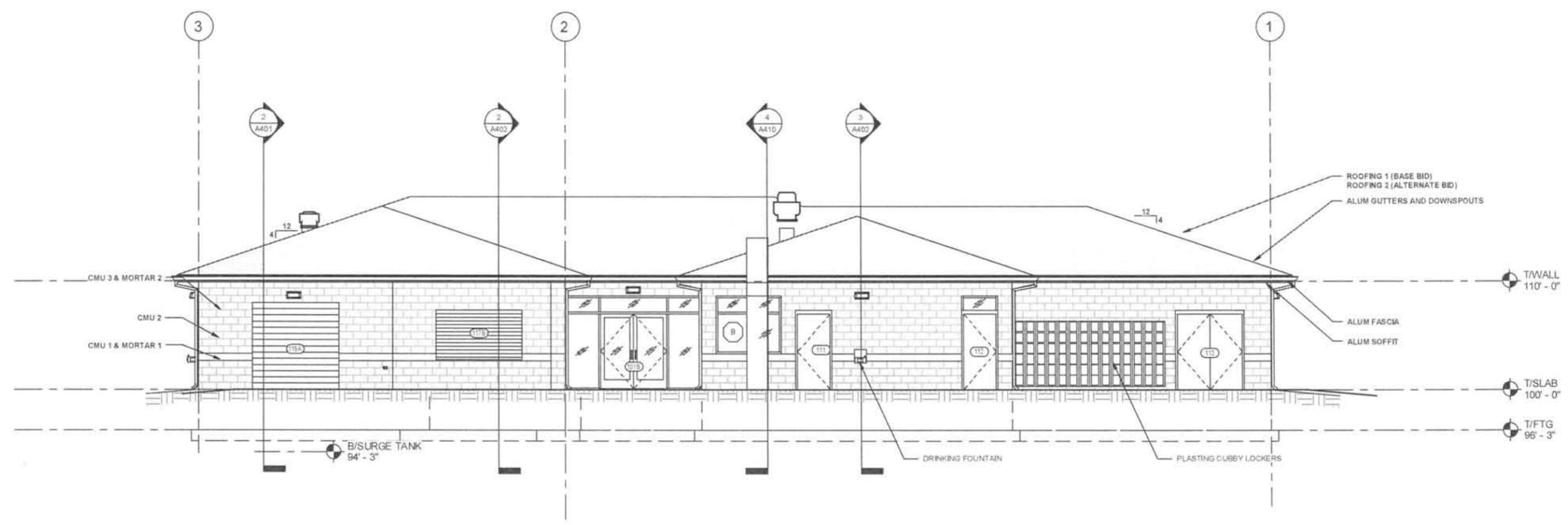
**BURLINGTON COMMUNITY POOL**  
 394 Amanda Street, Burlington, WI 53105



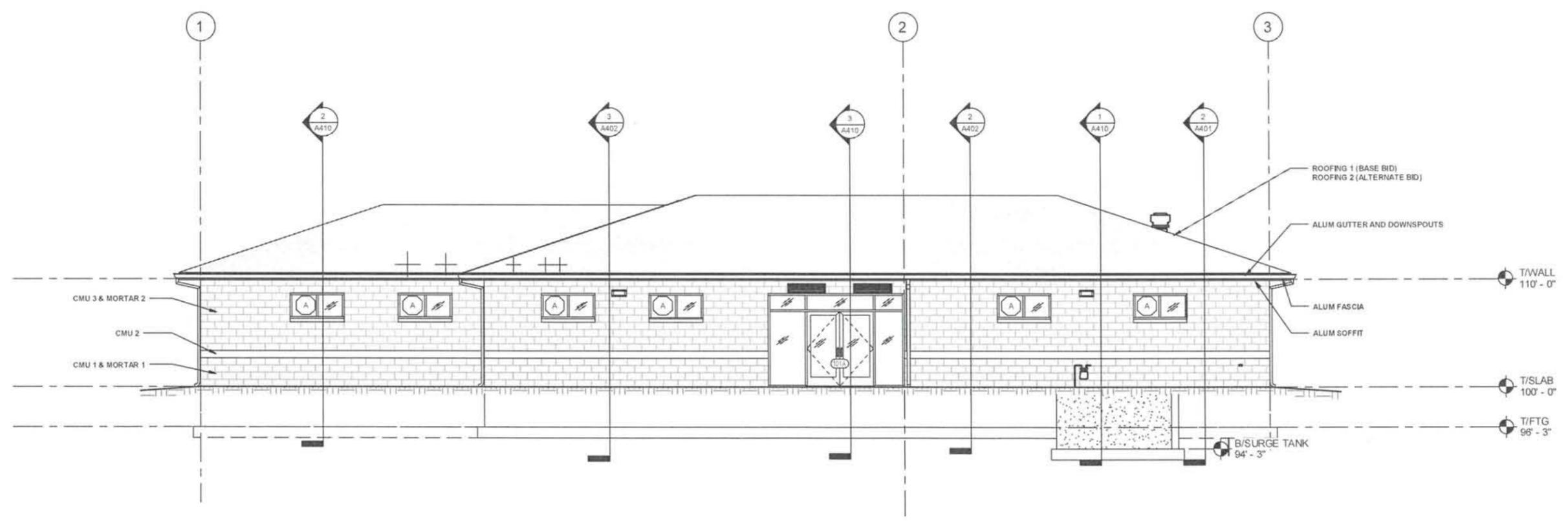
Revision	Date

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 Checked By: \_\_\_\_\_  
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 Date: 5/26/2017  
 Sheet Number \_\_\_\_\_

**C205**



**2 NORTH ELEVATION**  
 A302 3/16" = 1'-0"



**1 SOUTH ELEVATION**  
 A302 3/16" = 1'-0"

**BURLINGTON COMMUNITY POOL**  
 394 Amanda Street, Burlington, WI 53105

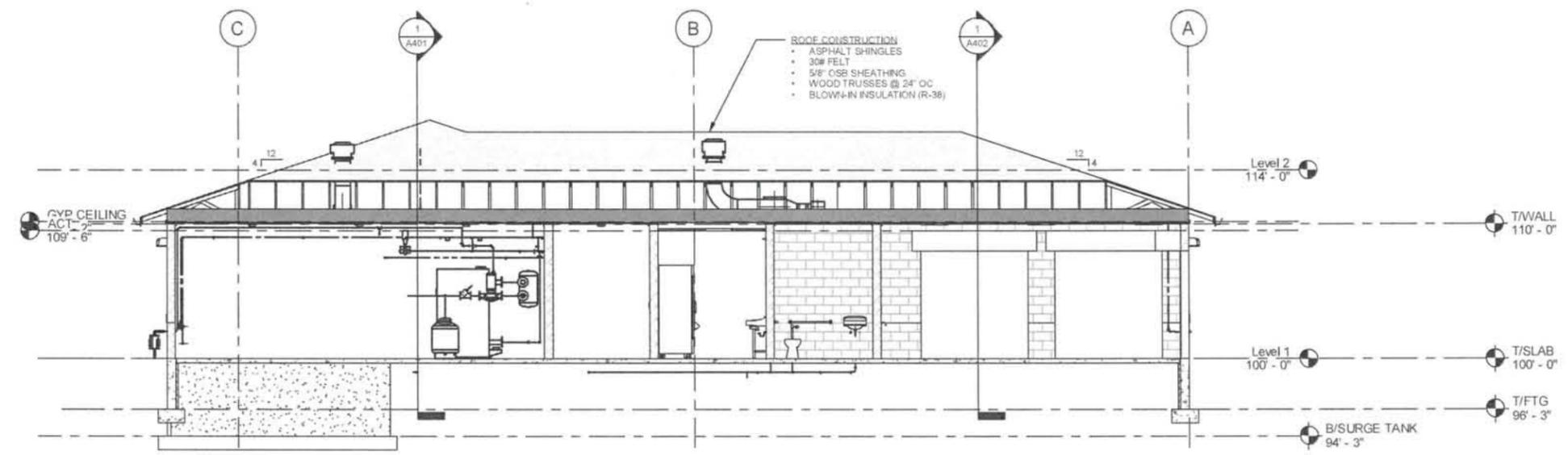


Sheet Title  
**BUILDING ELEVATIONS**

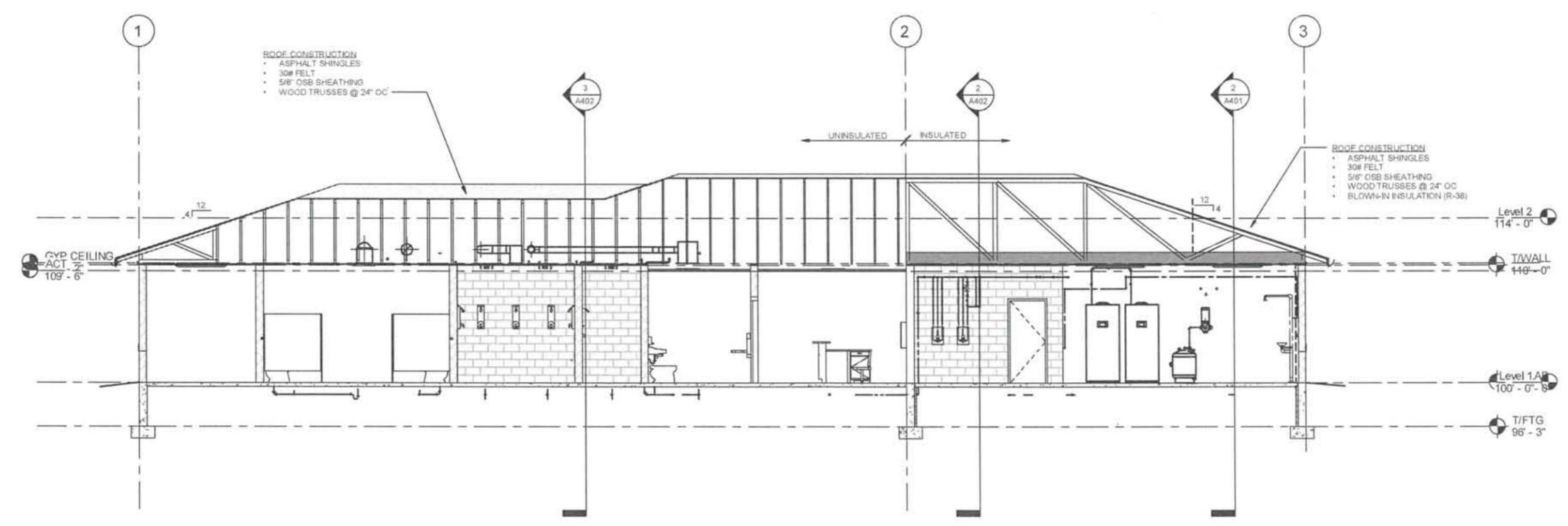
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 Sheet Number \_\_\_\_\_

**A302**



**2 EAST-WEST BUILDING SECTION**  
 A401 3/16" = 1'-0"



**1 NORTH-SOUTH BUILDING SECTION**  
 A401 3/16" = 1'-0"

**BURLINGTON COMMUNITY POOL**  
 394 Amanda Street, Burlington, WI 53105

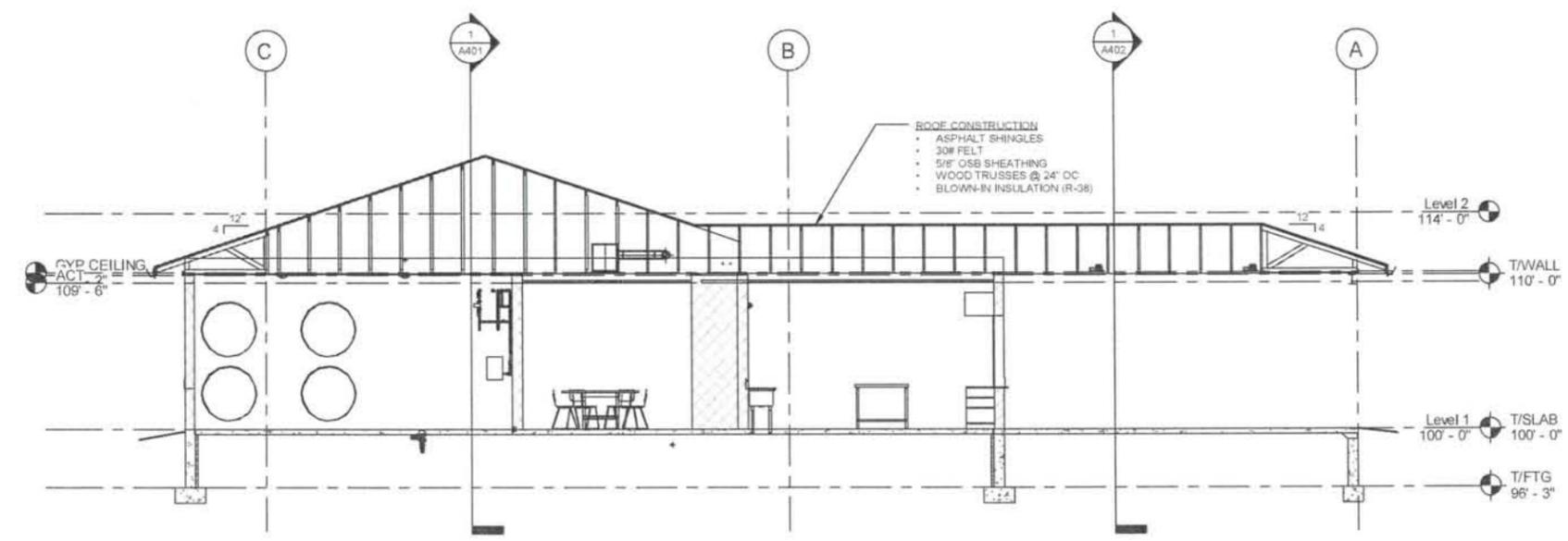


Sheet Title  
**BUILDING SECTIONS**

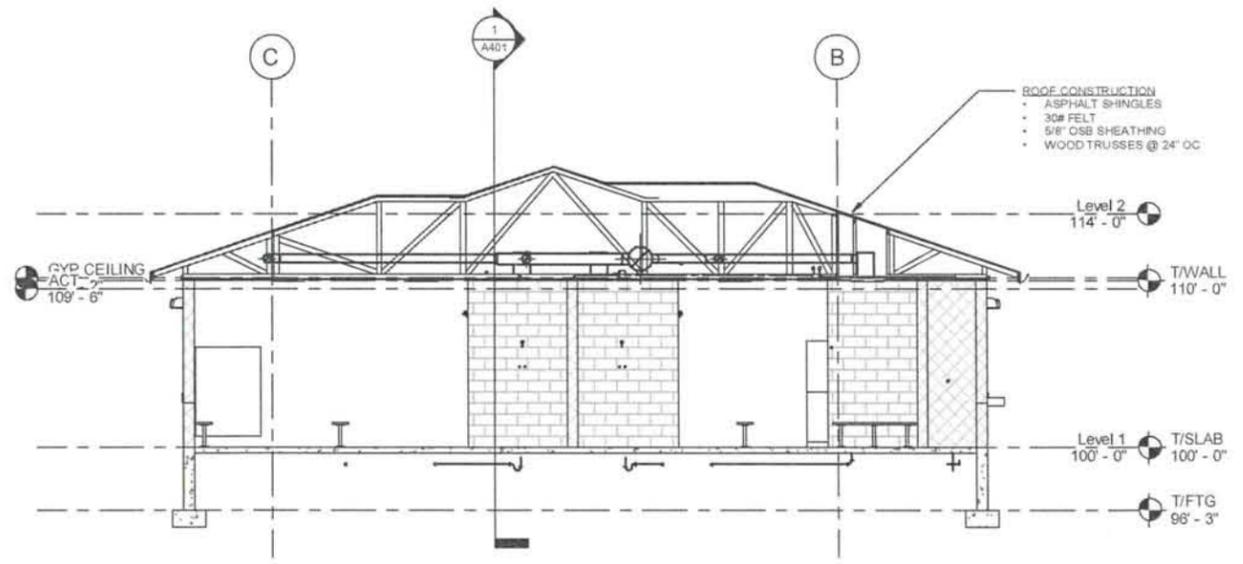
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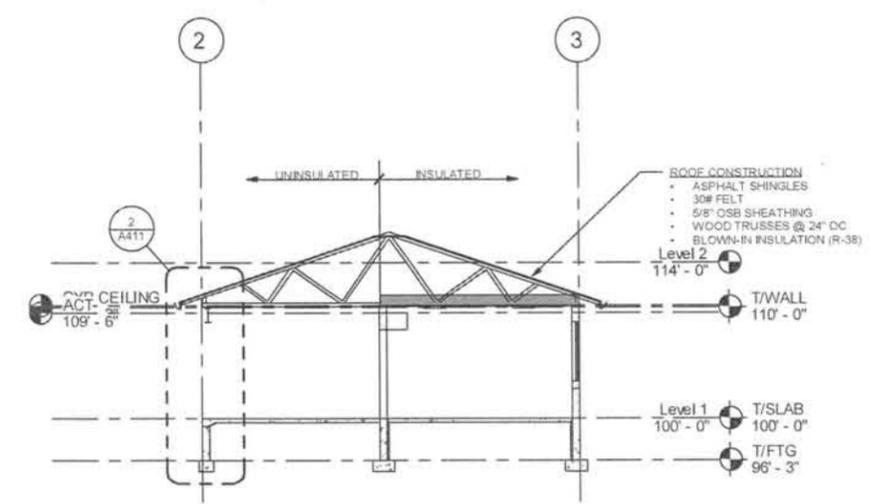
**A401**



**2 EAST-WEST BUILDING SECTION 2**  
 3/16" = 1'-0"



**3 EAST-WEST BUILDING SECTION 3**  
 3/16" = 1'-0"



**1 NORTH-SOUTH BUILDING SECTION - OUTDOOR CONCESSIONS**  
 1/8" = 1'-0"

**BURLINGTON COMMUNITY POOL**  
 394 Amanda Street, Burlington, WI 53105

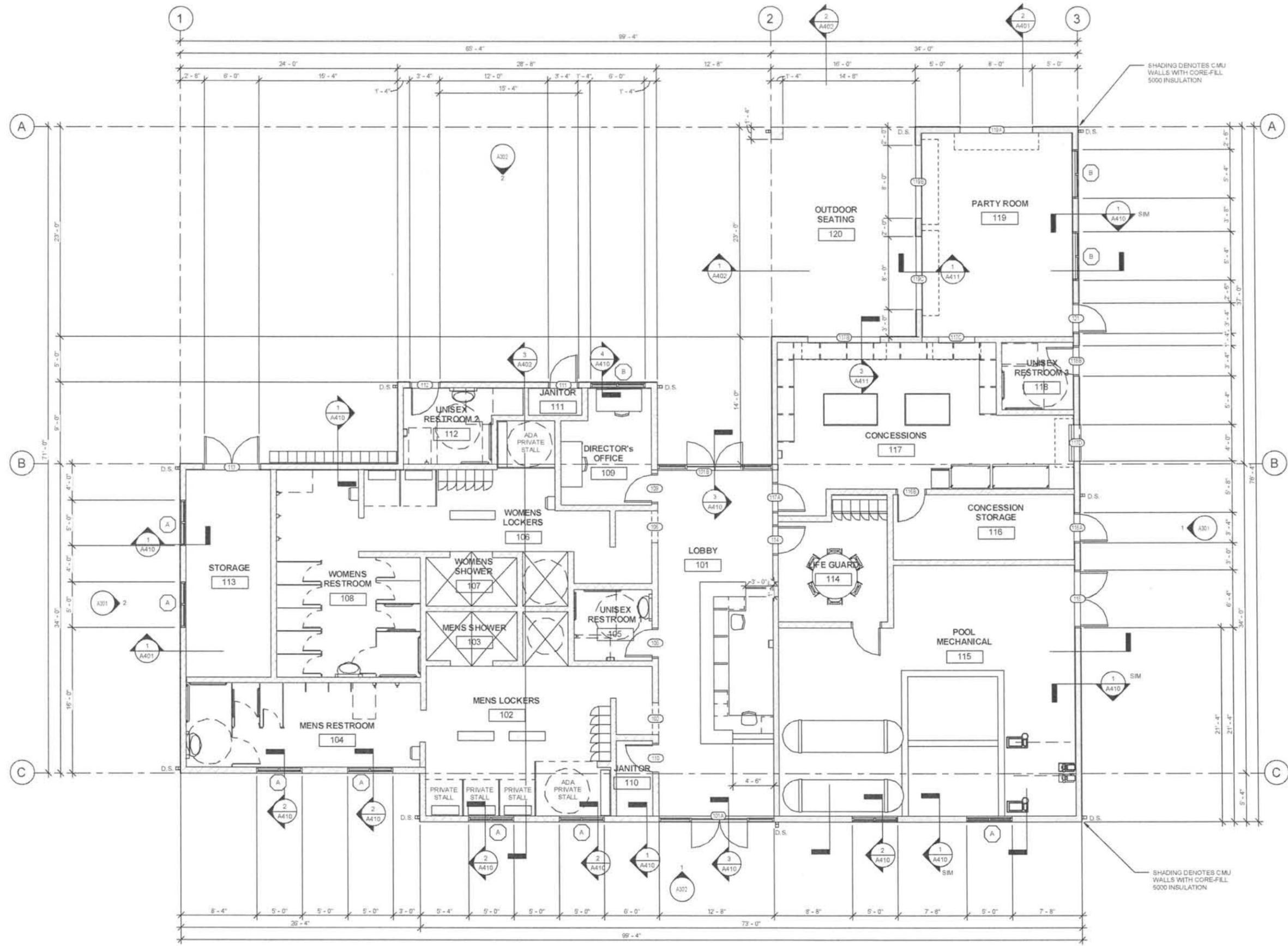


Revision	Date

Drawn By: \_\_\_\_\_  
 Checked By: \_\_\_\_\_  
 Issued For: BIDDING  
 Project No. 27-1051  
 Date: 5/26/2017  
 Sheet Number \_\_\_\_\_

**A402**

Sheet Title  
**BUILDING SECTIONS**



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**BURLINGTON COMMUNITY POOL**  
 394 Amanda Street, Burlington, WI 53105



Revision \_\_\_\_\_ Date \_\_\_\_\_

Drawn By: \_\_\_\_\_  
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**A201**

PLAN NORTH  
**FLOOR PLAN**  
 3/16" = 1'-0"

Sheet Title  
**FIRST FLOOR PLAN**