



AGENDA
PLAN COMMISSION
Tuesday, March 14, 2017 at 6:30 p.m.
Common Council Chambers, 224 East Jefferson Street

Mayor Jeannie Hefty, Chairman
Tom Vos, Aldermanic Representative
Bob Grandi, Aldermanic Representative
Darrel Eisenhardt, Park Board President
Chad Redman, Commissioner
Chris Reesman, Commissioner
Andy Tully, Commissioner

1. Call to Order
2. Roll Call
3. Approval of the minutes of February 14, 2017
4. Letters and Communications: None
5. Citizen Comments
6. Public Hearings:
 - A. Public Hearing to hear public comments regarding a Conditional Use application from Creature Comforts, LLC for property located at 2548 S. Teut Road to add a dog grooming business in an accessory structure.
7. Old Business:
 - A. Consideration to approve an extension of a Conditional Use Permit application for one year for Cretex Materials, Inc. for property located at 500 W. Market Street. This item was tabled at the February 14, 2017 meeting.
8. New Business:
 - A. Consideration to approve a Conditional Use application from Sandra Miller of Creature Comforts, LLC for property located at 2548 S. Teut Road to add a dog grooming business in an accessory structure, subject to Graef's March 2, 2017 memorandum to the Plan Commission.
 - B. Consideration to recommend approval to the Common Council of a Certified Survey Map Amendment application from Lynch Ventures, LLC for property located at 180 Industrial Drive to combine two lots into one parcel, subject to Graef's March 10, 2017 memorandum to the Plan Commission.

- C. Consideration to approve a Site Plan application from Lynch Ventures, LLC for property located at 180 Industrial Drive, to expand Lynch Display Van's production facility with alterations to the parking lot, subject to Graef's March 10, 2017 and Kapur's March 9, 2017 memorandums to the Plan Commission.
- D. Consideration to recommend approval to the Common Council of a Rezone Map Amendment application from Michelle Peterson of MPC Property Management for property located at 173 S. Perkins Blvd. to rezone the property from I-1, Institutional District to Rs-3, Single-Family Residential District, subject to Graef's March 2, 2017 memorandum to the Plan Commission.

9. Adjournment.

Note: If you are disabled and have accessibility needs or need information interpreted for you, please call the City Clerk's Office at 262-342-1161 at least 24 hours prior to the meeting.

Note: Notice is hereby given that a majority of the members of the Common Council may be present at the meeting. Although this may constitute a quorum of the Council, the Council will not take any action at this meeting.



Minutes
City of Burlington Plan Commission
February 14, 2017, 6:30 p.m.

Mayor Jeannie Hefty called the Plan Commission meeting to order at 6:30 p.m. Roll call: Alderman Tom Vos and Bob Grandi; Commissioners Darrel Eisenhardt; Chad Redman; Chris Reesman; and Andy Tully were present.

APPROVAL OF MINUTES

Alderman Vos moved, and Commissioner Reesman seconded to approve the minutes of December 13, 2016. All were in favor, and the motion carried.

LETTERS & COMMUNICATIONS

None

CITIZEN COMMENTS

None

PUBLIC HEARINGS

A. A Public Hearing to hear public comments regarding a Conditional Use application from Sunnyside Ventures, LLC for property located at 200 S. Pine Street to operate a child daycare for ages 0-3 years old.

- Mayor Hefty opened the Public Hearing at 6:31 p.m.
- Tom Stelling, Stelling & Associates, stated Michael & Heidi Wiley, owners, were there to answer any questions.
- There were no further comments.

Alderman Vos moved, and Commissioner Redman seconded to close the Public Hearing at 6:32 p.m. All were in favor and the motion carried.

OLD BUSINESS

None

NEW BUSINESS

A. Consideration to approve to the Common Council of a Conditional Use application from Michael & Heidi Wiley for property located at 200 S. Pine Street to operate a child daycare for ages 0-3 years old, subject to Graef's February 10, 2017 memorandum to the Plan Commission.

- Mayor Hefty opened this item for discussion.

- Commissioner Tully questioned if traffic all around the drive-thru is a passable area. Mr. Stelling stated the drive-thru will be used for pick-up and drop-off for children as well as a drop-off window for laundry. Mr. Stelling also stated the drive-thru will continue all the way around. Alderman Grandi asked if the current drive-thru structures will come down. Mr. Wiley replied they will be gone to allow a more open area. Commissioner Eisenhardt inquired what the term was for the Conditional Use. Gregory Guidry, Building Inspector, commented the term is for the life of the property.
- Mr. Guidry clarified if the drive-thru window was a similar concept to Jimmy John's because if it is, a Conditional Use would need to be applied for. Mr. Stelling stated there are also parking spaces to be able to get out and drop off laundry. Carina Walters, City Administrator, stated the laundry would need a Conditional Use, but currently we are discussing the daycare.
- There were no further comments.

Alderman Vos moved, and Commissioner Eisenhardt seconded to approve a Conditional Use to operate a child daycare.

All were in favor and the motion carried.

B. Consideration to approve a Site Plan application for property located at 200 S. Pine Street to use the building for two businesses; a coin laundry and a child daycare for ages 0-3 years old, subject to Graef's February 10, 2017 and Kapur's January 31, 2017 memorandums to the Plan Commission.

- Mayor Hefty opened this item for discussion.
- Tanya Fonseca, Graef, stated some of the parking areas were waived, but suggests permission from the surrounding property owners to allow the use of their parking lots. Mr. Stelling stated the owners wanted the Conditional Use approval for the daycare before getting too involved with the parking and lighting plans. Commissioner Eisenhardt asked if the entrance to the daycare is off of Pine Street. Mr. Stelling answered no, the children get dropped off in an enclosed area and then go up the lawn on a sidewalk path which is fenced in. Mr. Wiley stated the drive-thru is for convenience.
- Ms. Fonseca stated the owners should consider a parcel consolidation.
- Commissioner Eisenhardt asked if the exterior will change in looks. Mr. Stelling replied no and that this building is within three years of being a historical building.
- There were no further comments.

Commissioner Tully moved, and Alderman Grandi seconded to approve a Conditional Use to use the building for two businesses; a coin laundry and a child daycare.

All were in favor and the motion carried.

C. Consideration to approve an extension to a Conditional Use Permit application for one year Cretex Materials, Inc. for property located at 500 W. Market Street.

- Mayor Hefty recused herself from this item, because she had to attend another meeting. Commissioner Reesman recused himself from this item.
- Alderman Vos opened this item for discussion.
- Paul Thomsen, 5000 Thomsen Road, stated that no aerial photos have been taken in years and clear cutting of trees have been removed out of the buffer zone where it should not have. Mr. Guidry stated he sent Carl Beck, the owner of Cretex, a list of items that should be updated such as future plans, aerial photos, stormwater and elevations to name a few.
- Ms. Walters recommended to the Commissioners to wait until next month when Mr. Guidry would have time to go over the list with Mr. Beck and possibly give him 30 days to correct a few items. Commissioner Tully verified that Mr. Beck received the report for corrections that Mr. Guidry prepared. Alderman Grandi inquired why the trees in the buffer zone were removed. Mr. Guidry stated the access road can only go across the buffer zone and not through it. Mr. Thomsen stated restoration has been done in Phase I and Phase II.
- There were no further comments.

Commissioner Eisenhardt moved, and Alderman Grandi seconded to table the one year extension for the Conditional Use Permit until next month Plan Commission meeting.

All were in favor and the motion carried.

ADJOURNMENT

Alderman Grandi moved, and Commissioner Redman seconded to adjourn the meeting at 7:00 p.m. *All were in favor and the motion carried.*

Recording Secretary
Kristine Anderson
Administrative Assistant

THE PLAN COMMISSION IN AND FOR THE CITY OF BURLINGTON

Notice of Hearing on
Proposed Conditional Use Permit
B-1, Neighborhood Business District

TO WHOM IT MAY CONCERN:

NOTICE is hereby given that the Plan Commission of the City of Burlington, Racine County, Wisconsin, will conduct a hearing to discuss the proposed Conditional Use Permit for:

Owner: Sandra Miller
Applicant: Creature Comforts, LLC
Location: 2548 S. Teut Road
Zoning: B-1, Neighborhood Business District
Use: To use the existing garage as a grooming facility for dogs

NOTICE IS FURTHER GIVEN that a hearing on the above-mentioned Conditional Use Permit will be held by the City Plan Commission in the Courtroom of the Police Department, in the City of Burlington on:

TUESDAY, MARCH 14, 2017 DURING THE MEETING OF THE PLAN COMMISSION SCHEDULED TO BEGIN AT 6:30 P.M. OR SHORTLY THEREAFTER

To consider the above Conditional Use Permit and to hear persons in support thereof or opposition thereto.

CITY OF BURLINGTON
PLAN COMMISSION

Dated at Burlington, Wisconsin, 20th day of February, 2017.

Diahnn Halbach, City Clerk

*Published in the Burlington Standard Press
February 23rd, 2017 and March 2nd, 2017*



PLAN COMMISSION

ITEM NUMBER: 7A

DATE: March 14, 2017

SUBJECT: Consideration to approve a Conditional Use Permit (CUP) Review for 500 W. Market Street (Cretex Materials, Inc.).

SUBMITTED BY: Gregory Guidry, Building Inspector and Zoning Administrator

PROJECT/SCOPE:

Staff requests the Plan Commission review a Conditional Use Permit (C.U.P.) for Cretex Materials, Inc. (former J.W. Peters), located at 500 W. Market Street. The C.U.P. was originally issued on June 20, 1994 and last reviewed on October 14, 2014 with an extension of two years. Staff recommends approval of another extension of the C.U.P. for the period of one year, per Plan Commission recommendation.

This item was tabled at the February 14, 2017 Plan Commission meeting. Ms. Walters recommended to the Commissioners to wait until next month when Gregory Guidry would have time to go over the list with Carl Beck, owner of Cretex, and possibly give him 30 days to correct a few items. Mr. Guidry discussed the itemized list with Mr. Beck after the February 14, 2017 meeting. Mr. Beck submitted responses to the recommendations and photos, which are attached.

ZONING:

The parcel is zoned M-2, General Manufacturing.

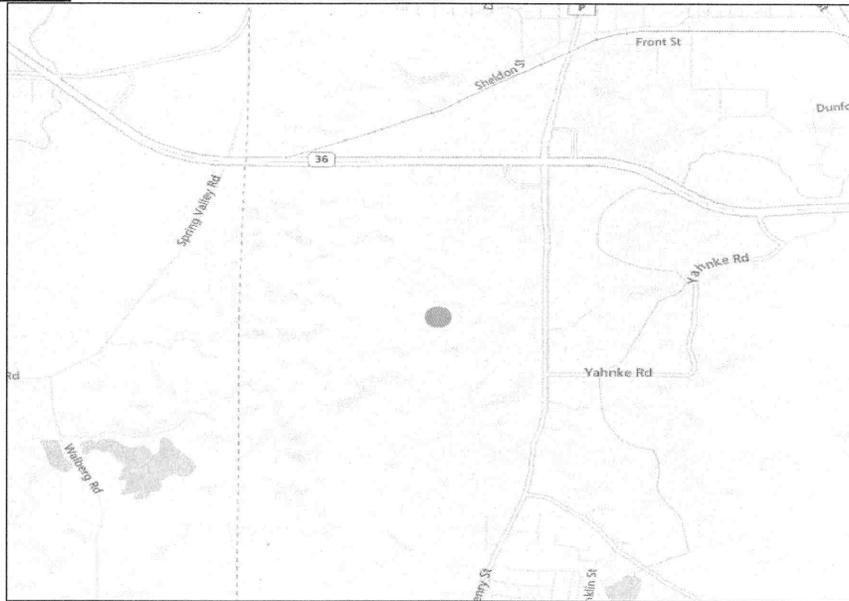
RECOMMENDATION:

Gregory Guidry recommends approval of this Conditional Use Permit extension, subject to items listed in his January 31, 2017 memorandum.

TIMING/IMPLEMENTATION:

This item is for consideration at the March 14, 2017 Plan Commission meeting. No further action is necessary.

MAP:





March 14, 2017 Conditional Use Meeting



CITY OF BURLINGTON

Building & Zoning Department
300 N. Pine Street, Burlington, WI 53105
(262) 342-1163 – (262) 763-3474 fax
www.burlington-wi.gov

January 31, 2017

To: City of Burlington Plan Commission

From: Gregory Guidry, Building Inspector/Zoning Administrator

J. W. Peters was given approval for a Conditional Use to operate a mineral extraction operation on February 21, 1994 and modified on January 14, 2003 to include a Single-Family Residential Development. The mineral extraction business was sold to Cretex Materials who is the current owner of the site. This Conditional Use Permit is to be reviewed annually by the Plan Commission. This report serves as my annual review and recommendation.

On January 10, 2017, I went to the Cretex site and pit area with Carl Beck, the owner of Cretex. This was my first time visiting the site and pit. This review is a more detailed observation of my drive through. Listed below are suggestions and recommendations of areas of concern and areas that need updating after all these years. They are listed in order based upon the J.W. Peters Conditional Use Permit letter from June 20, 1994 as follows:

#2. **Excavation** - Cretex is currently in Phase III of the Conditional Use Permit, so an update of the *excavation and restoration up to 2017 should be submitted.*

Cretex is not in the final restoration, Phase 1, 2 and 3 are not to final grade due to activity in phase 4, Phase 1, 2 and 3 is being worked, crops. The county of Racine has jurisdiction over reclamation. Review memorandum by Meehan & company January 10, 2003 paragraph 6.

#3. **Set backs** - There has been a complaint regarding tree clearing along the property line of the Thomsen property 200 feet buffer zone. There has been a clear cut of all trees and shrubs up to the property line, photos are on file. I will be communicating with Cretex to get a better understanding as to why this took place. Mr. Beck informed me that they are required to have an emergency access road around the pit, which makes since, but I am not sure why that should eliminate the trees buffer zone (see item 36).

I ask why Cretex was not invited to this meeting since it refers to Cretex Materials. Why didn't the inspector ask to be taken to the Thomsen property at the time of the inspection? MSHA regulation 46.4 no one is to be on mining property without part 46 training. If not trained they need to be escorted by a competent person. Federal law. Review Survey of setback by BW Surveying Inc. .

#7. **Wells** - Cretex informed me that they recently installed two new wells and one septic holding tank. One well is located in the City and one is in the Town. One of these wells and the septic holding tank are for the site job office, but were installed on City property without City permission. I will wait on City Council and legal counsel for direction.

The wells and office is in the town of Burlington as told to Mr. Guidry at the time of the visit. The wells have nothing to do with the conditional use, they are not located south of the bypass in zone 1, 2, 3 or 4 I do not understand why this was introduced at this meeting. The meeting is for a conditional use of the property located south of the Burlington bypass.

#8. **Base limit** - This condition directly addresses the depth/elevation of Phase I from 1994. We are currently in Phase III and the year 2017. We should be updated to any possible changes in previous approved elevations. Item #16 permits this request.

Phase 1, 2 or has not changed in over 15 years. I do not understand the concern, this is not the first time this site has been inspected. County of Racine has jurisdiction. Refer to the Conditional use dated January 16, 2003.

#17. **As built** - Cretex should update City records by submitting a current "as built" survey.

An as built survey is for final restoration, when you stop mining and restore the property then ask the county for a release. Not when you are currently mining. NR - 135

#20. **Stormwater** - I will work with the City Engineer to look into the approved stormwater drainage and detention system to make sure that all drainage stays on this property as required.

We are regulated by the DNR. I know of no complaints of storm water in the conditional use area south of the bypass. I find impossible that in the conditional use zone that Cretex drain into any other property with 3 to 1 slopes. There is no storm water leaving the Cretex property.

#25. **Operations Plan** - An updated operations plan should be submitted to keep the City informed with the daily and future works of the site. This can be compared to the approved Conditional Use of 1994.

The operation plan is as simple as it was in 1994, remove material from the designated areas. Again this isn't the first inspection.

#31. **Detention Areas** - I will be working with the City Engineer to review the 1994 submitted storm-water plan to make sure all stages are being followed.

The detention areas are lined out on the conditional use from 1994, the 2003 update replaced them with a lake.

#36. **Buffer Zone** - As mentioned in item #5, this also pertains to the complaint of activity and clearing of the buffer zone. Number 36(e) reads that the access road may cross the buffer zone, it does not mention run along the buffer zone.

That does not mean Cretex violated that clause. I wish I was at the meeting. Cretex has had the area surveyed 4 times in 10 years, someone keeps taking down the boundary stakes. Cretex has a survey done to determine offset lines every year.

#38. **Aerial Photograph** - This condition requires an updated aerial photo submitted to the City annually. This is important this year due to the complaint of the clear cutting taking place in the buffer zone.

Aerials are done in the fall, stripping is done in the winter, an aerial does not have property lines on them. The aerial is late this year due to Cretex not knowing the previous inspector retired.

Recommendation:

I feel that the Plan Commission should renew the Conditional Use Permit to Cretex for another year with the condition that the following items are submitted to the City:

- 1) A current aerial photo showing the recent clear cutting with the property lines imposed so we can see the clearing in relation to the property line. This should include the measurement of the width of the clear cut that appears to be in the buffer zone. The boundaries are clearly staked, with ribbons.

Boundaries are clearly staked, we cannot be held responsible for vandalism from adjoining properties.

- 2) A current survey with the progression phases identified, the restoration areas, the detention ponds, the elevations, the approved slopes where appropriate and the well locations. This is a final restoration clause. *August, 2002 Racine County oversees quarry restoration .Chapter NR 135.The conditional use dated January 16, 2003 eradicates the detention ponds.*
- 3) A current stormwater management plan with all necessary information for our City Engineer to verify that the City requirements are being met. *Currently the DNR oversees SWPPP.*
- 4) A current set of "as built" plans and an updated operations plan of all future extractions. *This clause refers to final restoration.*

CONDITIONAL USE PERMIT
City of Burlington

Cup No. 030109 Zoning District Q-1 Date January 16, 2003

Business Name: J. W. Peters Tax Key No: See Below

Business Address: 500 W. Market St. Type of Business: Single-family Residential Development

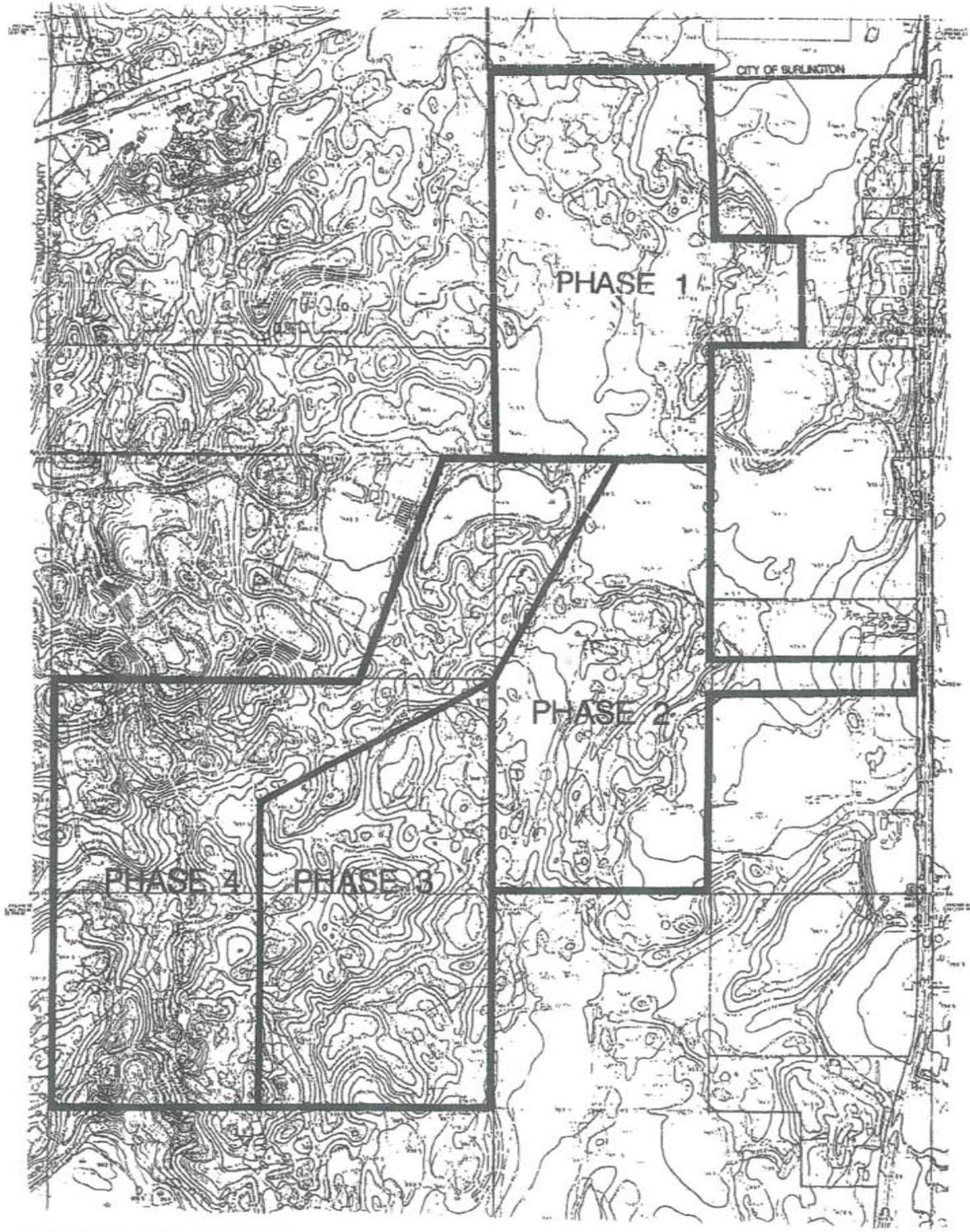
CONDITIONS FOR APPROVAL:

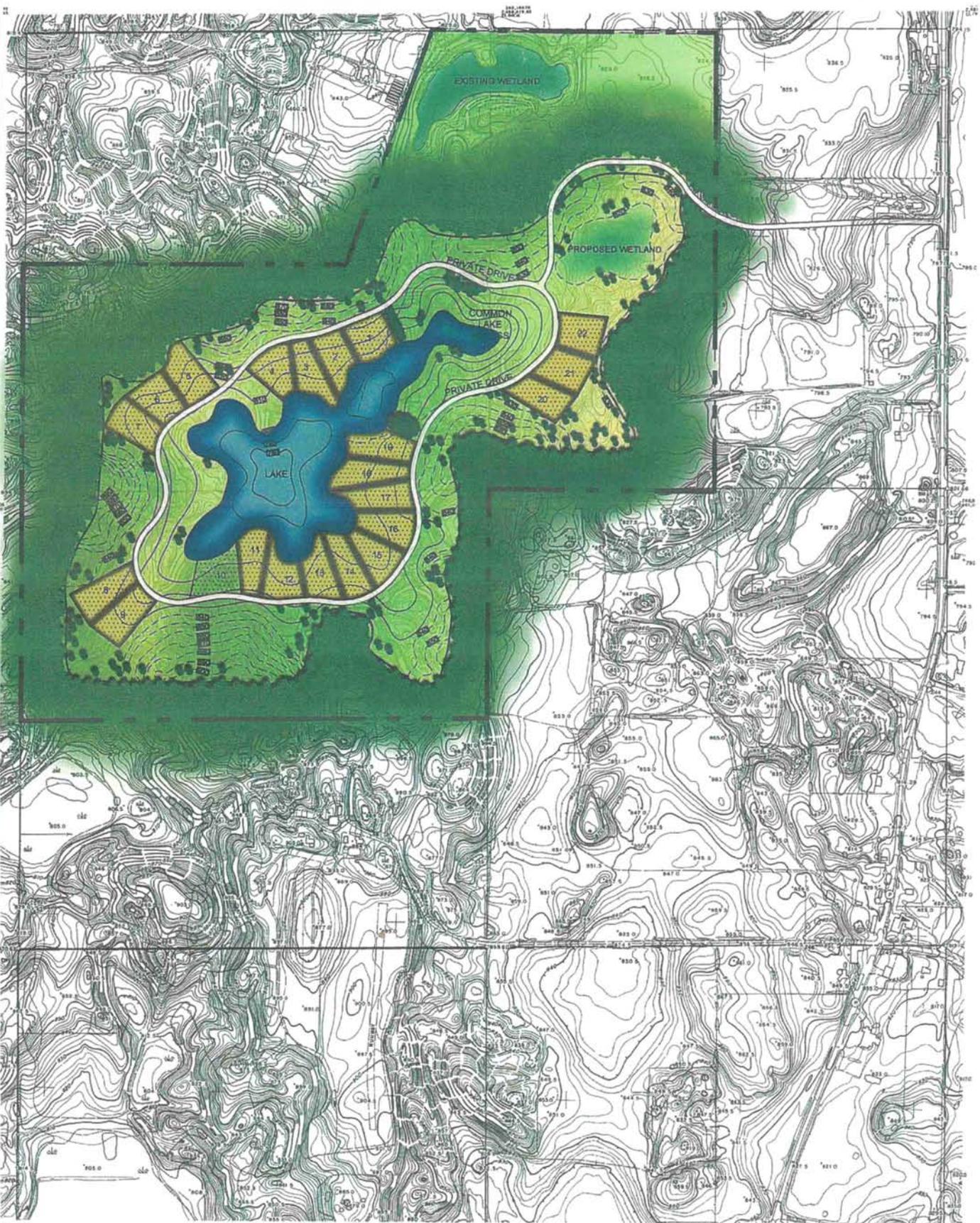
- 1.) An eight (8) page copy of the City's Conditional Use Permit for J. W. Peters dated June 20, 1994 with additions (underlined) and deletions (strike-out) as modifications to existing conditions #6 and #8 and new conditions #40 and #41
- 2.) Memorandum of Meehan and Company, Inc dated January 10, 2003. "Review of the Proposed Modifications to an Existing Conditional Use Permit for J. W. Peters and Sons, Inc Quarry Restoration Plan
- 3.) Exhibit A Conceptual Development Plan for Residential Development dated 10-30-02
- 4.) Exhibit B titled Phasing Plan dated 10-30-2002

This permit shall be displayed in a conspicuous place and is non-transferable It is unlawful to occupy or use this building except in the manner for which this permit is intended

Approved by the Burlington Planning Commission on: January 14, 2003
Issued By: Gotuck Scherer, Building Inspector

Tax Key Numbers: 02-19-06-009-000
02-19-06-008-000
02-19-07-009-000
02-19-07-002-001
02-19-07-006-000





WATER FRONT LOTS: 14
WATER VIEW LOTS: 3

CONCEPTUAL DEVELOPMENT PLAN FOR



MEMORANDUM

TO: City Plan Commission
City of Burlington

FROM: Meehan & Company, Inc.
Patrick J. Meehan, AICP

SUBJECT: Review of the Proposed Modifications to an Existing Conditional Use Permit for
J.W. Peters and Sons, Inc. Quarry Restoration Plan

DATE: January 10, 2003

Pursuant to the request of the City, Meehan & Company, Inc. has prepared this review of the proposed modifications to an existing Conditional Use Permit for J.W. Peters and Sons, Inc. Quarry Restoration Plan. Based upon Meehan & Company, Inc.'s examination of the City's Zoning Map, the subject property is zoned in the Q-1 Quarrying/Extractive District.

The materials submitted by the applicant are listed as follows:

- a Letter of Application to the Plan Commission of the City of Burlington from Pete Duffek of J.W. Peters dated November 27, 2002.
- b One (1) page of text and an accompanying map (Exhibit A) both of which were prepared by HNTB titled "Conceptual Development Plan for Residential Development" and both of which are dated 10-30-02.
- c An eight (8) page copy of the City's Conditional Use Permit for J.W. Peters dated June 20, 1994 with additions (underlined) and deletions (strike-out) as modifications to existing conditions #6 and #8 and new conditions #40 and #41.
- d A map (Exhibit B) titled "Phasing Plan dated 10-30-02

The proposed modifications to the Quarry Restoration Plan pertain to that area of the subject property identified on the initial Conditional Use Permit as Phases 2, 3, and 4.

Meehan & Company, Inc. wrote a review memorandum to the Plan Commission dated August 9, 2002 regarding the applicant's initial concept plan (undated, submitted with cover letter from HNTB dated 8/1/02) for the proposed modification of the Conditional Use Permit. The applicant appeared before the Plan Commission at its meeting of August 13, 2002 with the informal

concept plan (undated, submitted with cover letter from HNTB dated 8/1/02) for the proposed changes to the Conditional Use. There was no formal action taken by the Plan Commission but the consensus of the Plan Commission was that the applicant should proceed with the development of the conceptual plan addressing groundwater, sanitary sewer, and public road issues

With respect to this current review, Meehan & Company, Inc. offers the following comments. Please note that Meehan & Company, Inc. does not have the professional expertise to comment upon any potential impacts of the proposed development upon the water table.

- 1 The subject property appears to be located within a SEWRPC-delineated primary environmental corridor area, the subject property is not located within an area proposed to be served by public sanitary sewer service under the City's current local sanitary sewer service area refinements to the regional water quality management plan [Note While the City has a policy to serve development within the City with public sanitary sewer service, the City has recently waived this requirement in the Pine Street annexation area. In addition, since the subject property is located within a SEWRPC-delineated primary environmental corridor area, it is highly unlikely that SEWRPC would ever approve a public sanitary sewer extension to serve the proposed development.]
- 2 The approved "Conceptual Master Plan Land Use Plan" (undated, as prepared by HNTB) which was a part of the City's initial Conditional Use Permit approval for the restoration plan for Phases 2, 3, and 4 of the subject property called for the following:
 - a. The development of a total of 54 single-family residential lots ranging in size from about 1 +/- acre to nearly 2 acres in size
 - b. A 13.5 +/- acre neighborhood park. [Note It is important to note that the City's adopted Outdoor Recreation Plan Update and Amendment dated August 2, 1994 does not indicate a future public neighborhood or community level park at this location.]
 - c. A trail system through the subject property.
 - d. A 66-foot wide public street right-of-way serving the entire development
 - e. Two (2) small stormwater detention pond areas
 - f. Two (2) restored meadow/prairie areas
 - g. The retention of the existing wetland area located on the north side of the subject property
- 3 The proposed "Conceptual Development Plan for Residential Development" (dated 10-30-02) as prepared by HNTB for Phases 2, 3, and 4 of the subject property calls for the following:
 - a. The development of a total of 22 single-family residential lots about 1.5 +/- acres in size (but may be as many as 30 such lots). Each of **the proposed homes are to be served by individual private wells and private septic systems.** A

conditions #40 and #41) represent a further refinement of the initial development plans prepared by the applicant for Phases 2, 3, and 4 areas of the subject property in order to implement the revised "Conceptual Development Plan for Residential Development" (dated 10-30-02).

These proposed amendments specifically address:

- a The base limit of excavation for subsequent phases of excavation (proposed to be set at 775 to 780 feet USGS datum).
 - b That prior to the development proceeding and before any excavation below the normal water level of the lake can begin, a plan will be submitted to the City and other governmental agencies to insure ground water quality and the surface water quality of the lake.
 - c That the Conditional Use Permit does not approve any rezoning or platting of the subject property. Rezoning and platting consistent with the amended Conditional Use Permit for the subject property will be required prior to future development of the subject property.
 - d That all current stormwater detention, retention, and water quality regulations shall be met.
 - e That the applicant shall comply with all City roadway, sanitary sewer, and water facilities construction specifications.
 - f That the applicant shall provide the City with a maintenance agreement for all private roadways and open space areas of the subject property.
 - g. That the applicant agrees to pay a prorated share (based upon road frontage along CTH P/McHenry Street) of the extension of public sanitary sewer and/or water main facility costs along CTH P/McHenry Street.
 - h That the applicant shall comply with all City, County, State, and Federal regulations governing development of the type illustrated on the revised "Conceptual Development Plan for Residential Development" (dated 10-30-02).
 - i That Exhibit B titled "Phasing Plan" dated 10-30-02 is attached as an exhibit to the amended Conditional Use Permit.
- 5 SEWRPC's delineated primary environmental corridor area for the subject property notwithstanding, the City does have an adopted detailed land use plan for the subject property as part of the City's South STH 83 & South Bypass Corridor Plan. The City's South STH 83 & South Bypass Corridor Plan calls for the subject property to have its "existing and phased quarry and extraction land areas . . . to be restored for low-density single-family residential uses pursuant to the requirements of an existing Conditional Use Permit." The City's South STH 83 & South Bypass Corridor Plan further calls for the following relative to the subject property:
- a 0% open space ratio.

homeowners's association is proposed to be formed to maintain the private road, open space, and lake.

As indicated earlier, while the City has a policy to serve development within the City with public sanitary sewer service, the City has recently waived this requirement in the Pine Street annexation area and since the subject property is located within a SEWRPC-delineated primary environmental corridor area, it is highly unlikely that SEWRPC would ever approve a public sanitary sewer extension to serve the proposed development.

It is the understanding of the City of Burlington that no public water supply system will serve the proposed development. However, if at some future date water from the City public water supply system is to be extended into the subject property, all costs of said extension shall be paid by the homeowner(s) or developer.

- b. The elimination of the 13.5+/- acre neighborhood park which would be replaced by large open space areas to be maintained by a homeowner's association similar to the Burlington Conservancy neighborhood.
 - c. No trail system through the subject property
 - d. The elimination of the 66-foot wide public street right-of-way serving the entire development and being replaced with a private driveway system that will be constructed to City roadway specifications and maintained by a homeowners association
 - e. The elimination of two (2) small stormwater detention pond areas which would be replaced by one (1) large proposed 2,200-foot long (20 to 25 acres in area) lake and the creation of one (1) new proposed wetland area (the new wetland area is proposed to be a water quality/infiltration area). The applicant has indicated that water quality will be maintained or improved within the future development through the implementation of innovative stormwater management techniques
 - f. The elimination of two (2) large restored meadow/prairie areas. However, the lakeshore of the proposed new lake is proposed to be planted with submergent and emergent vegetation to create wildlife and aquatic habitat. In addition, the applicant is proposing to restore and preserve natural areas along the perimeter of the subject property—disturbed areas to be planted with meadow, old field, and/or a variety of native tree species
 - g. The retention and protection of the existing wetland area located on the north side of the subject property.
 - h. Creation of a wetland area located on the northeastern portion of the subject property. This wetland is proposed to act as a strong visual entrance feature as well as a water quality/infiltration area
4. The applicant's proposed text changes to the initial Conditional Use Permit dated June 20, 1994 (i.e., modifications to existing conditions #6 and #8 and proposed new

- b That the Rs-1 Single-Family Residential District would be the potential zoning district to be used to implement the plan for the subject property and that the minimum residential lot size would be 40,000 square feet
- c That the gross density of the area is not to exceed 0.2 dwelling unit per gross acre
- d That remaining primary environmental corridor [following quarrying and extractive operations] would be preserved
- e That there is a potential for this area to have a pedestrian linkage to the abutting remaining primary environmental corridor

The proposed "Conceptual Development Plan for Residential Development" (dated 10-30-02) as prepared by HNTB for Phases 2, 3, and 4 of the subject property does not appear to be inconsistent with the City's South STH 83 & South Bypass Corridor Plan since the proposed modifications to the earlier approved plan would result in a lesser intensity development and a lesser intensity of stormwater run-off due to less building and impervious surface coverage of the subject property.

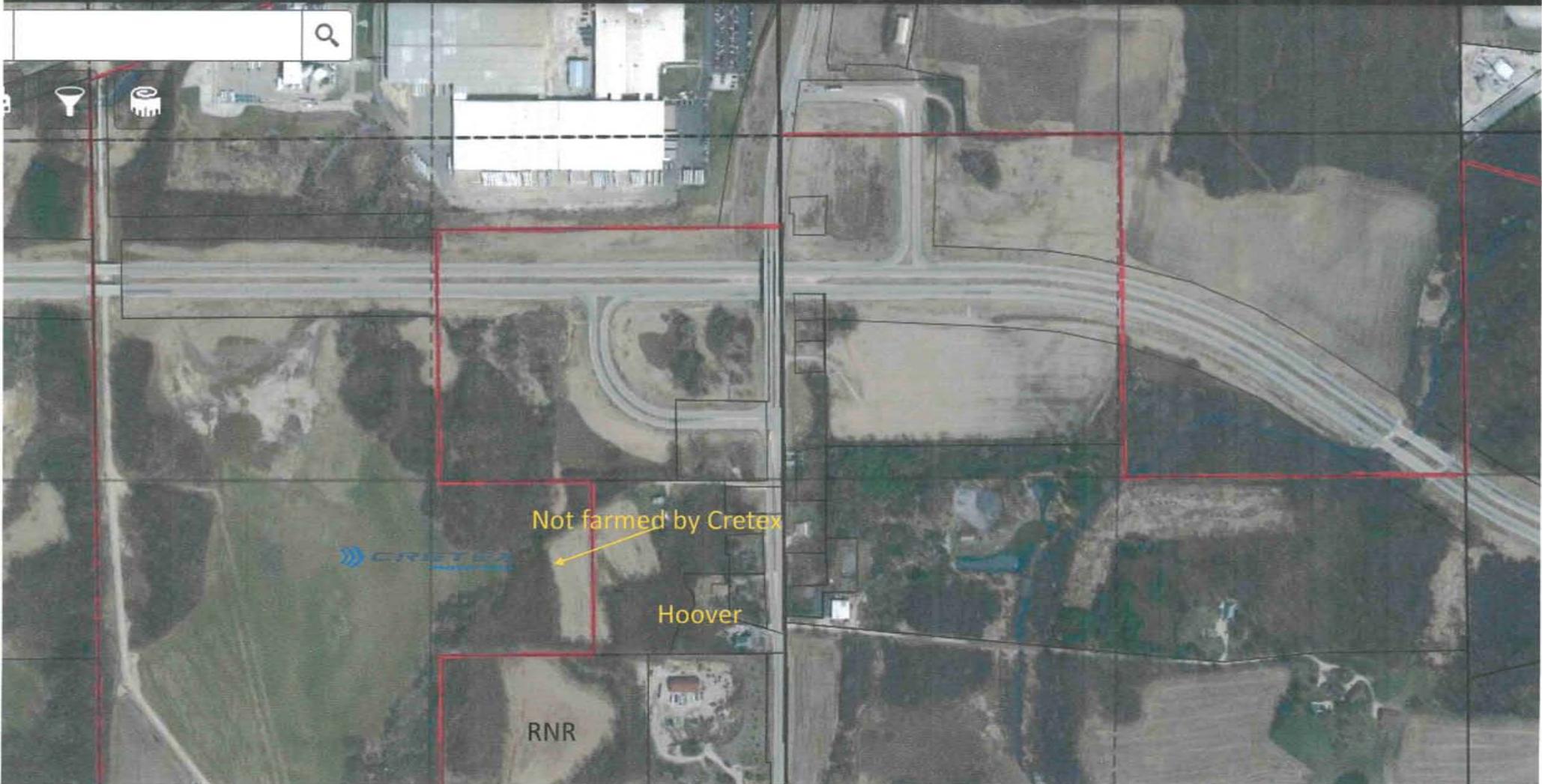
- 6 Based upon discussions with the City Building Inspector in August 2002, it is the understanding of Meehan & Company, Inc. that at this time Racine County oversees quarry restoration. Based upon a discussion with the Planning Manager of the Racine County Planning and Development Division, Racine County has adopted a nonmetallic mining reclamation ordinance under the provisions of Chapter NR 135 of the Wisconsin Administrative Code and Subchapter I of Chapter 295 of the Wisconsin Statutes. Under the County's ordinance, the City still processes conditional uses (and reclamation plans) within the Q-1 Quarrying/Extractive District and following City approval, the County also reviews such reclamation plans.

RECOMMENDATION

Based upon the foregoing analyses and findings, it is recommended that the proposed amendment to the Conditional Use Permit be approved by the Plan Commission subject to all of those materials submitted by the applicant as enumerated in this memorandum and for future clarification purposes that this memorandum be specifically included in the approval as an integral part of the Conditional Use Permit.

Additional information may need to be supplied to Racine County by the applicant in compliance with the various requirements of the County's nonmetallic mining reclamation ordinance.

Caine County Mapbook



Not farmed by Cretex

Hoover

RNR

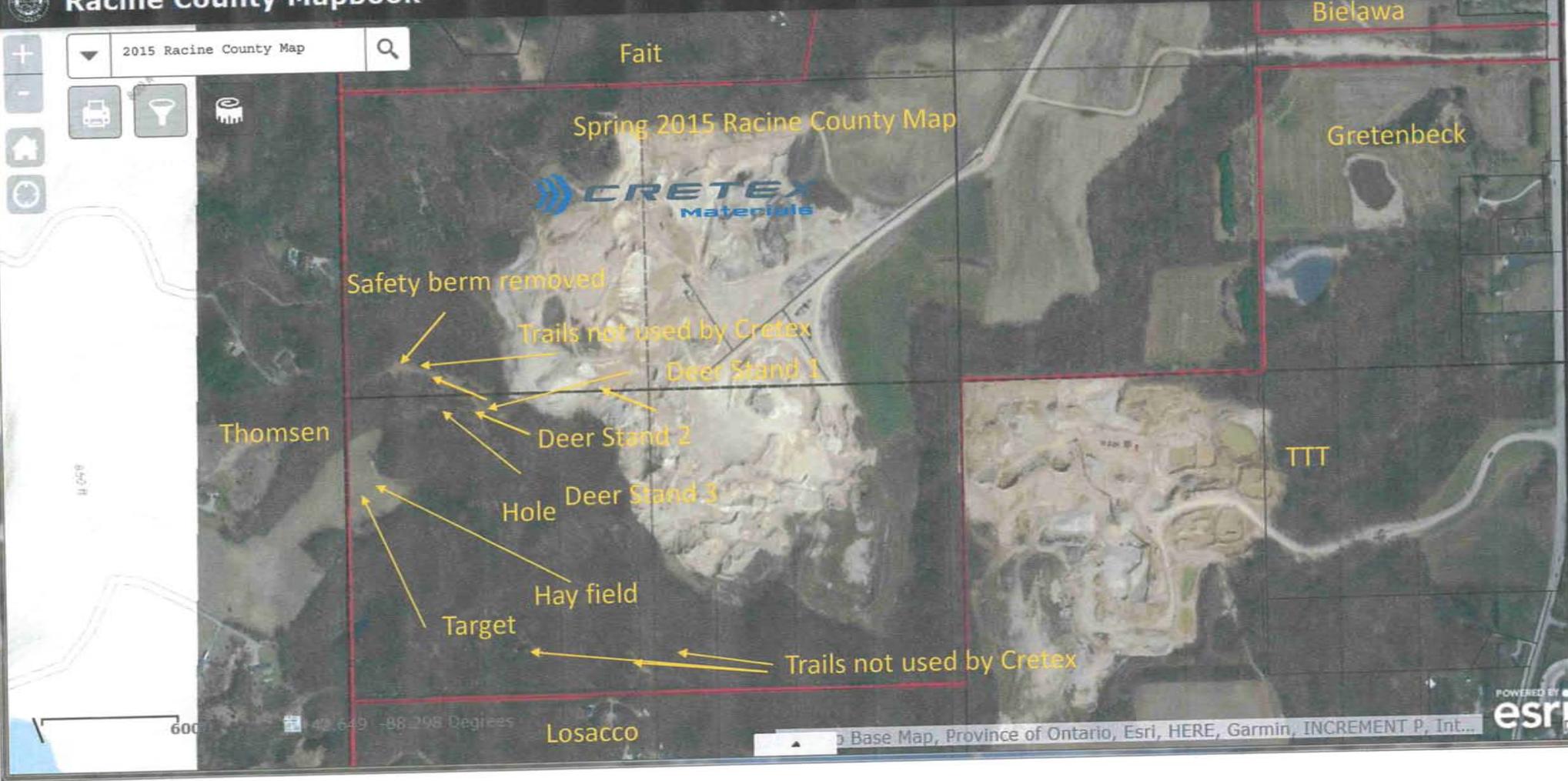


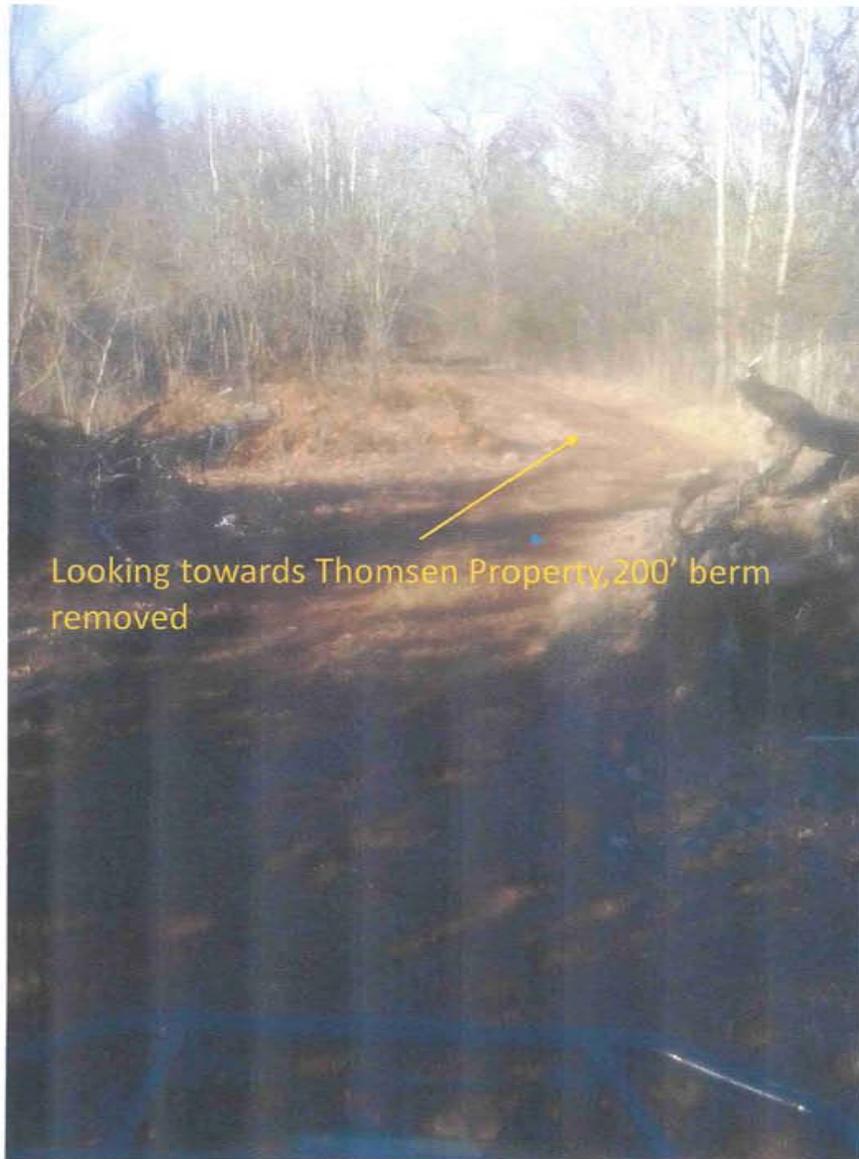
Racine County Mapbook



2015 Racine County Map

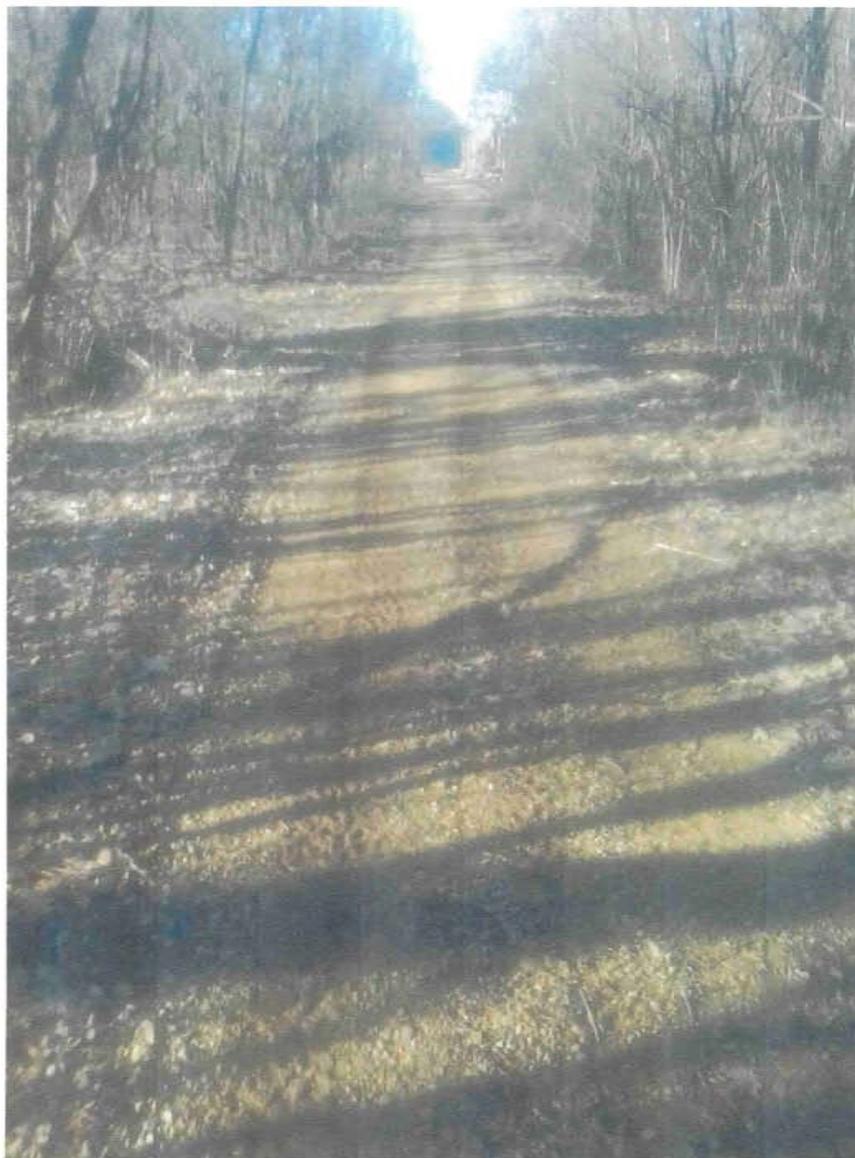
Map navigation controls: zoom in (+), zoom out (-), home, refresh, print, and search icons.





Looking towards Thomsen Property, 200' berm removed

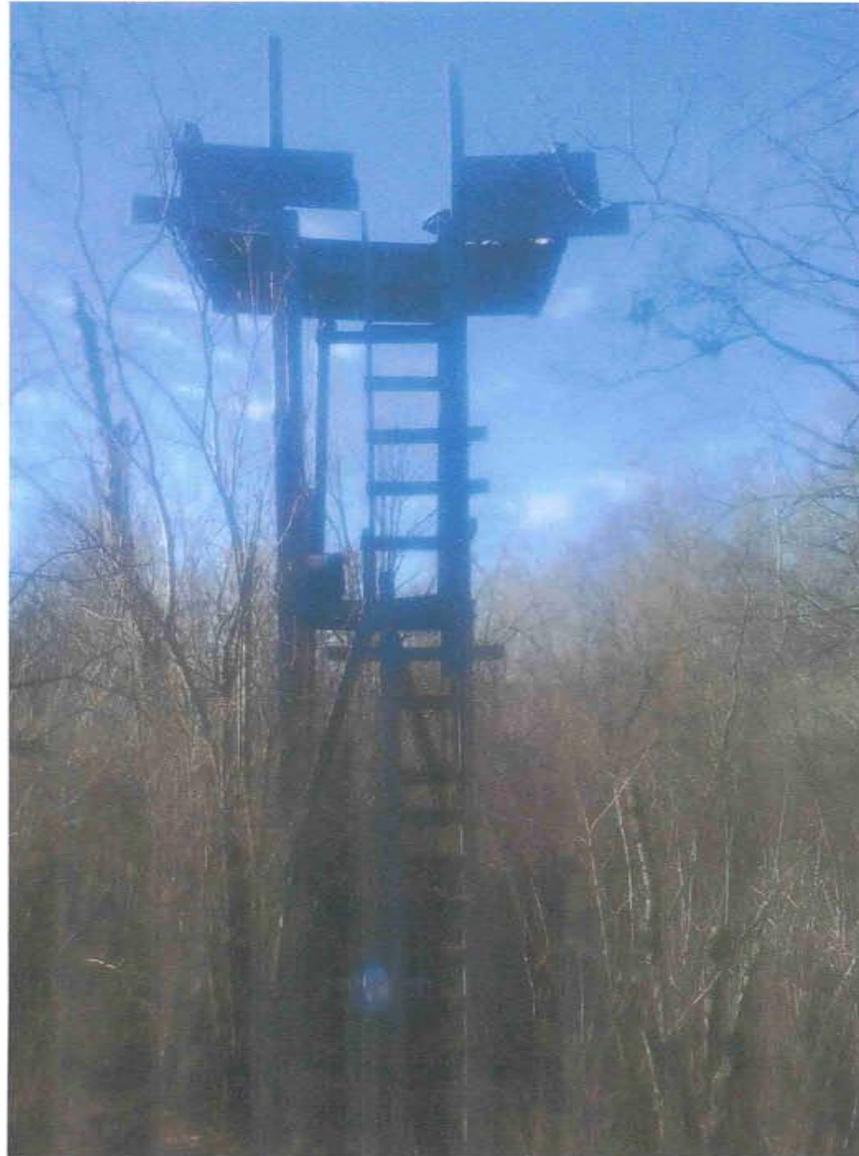
Road not used by Cretex to
Thomsen Property





Cretex property is used by Thomsen

Tree stand 1 Cretex Property

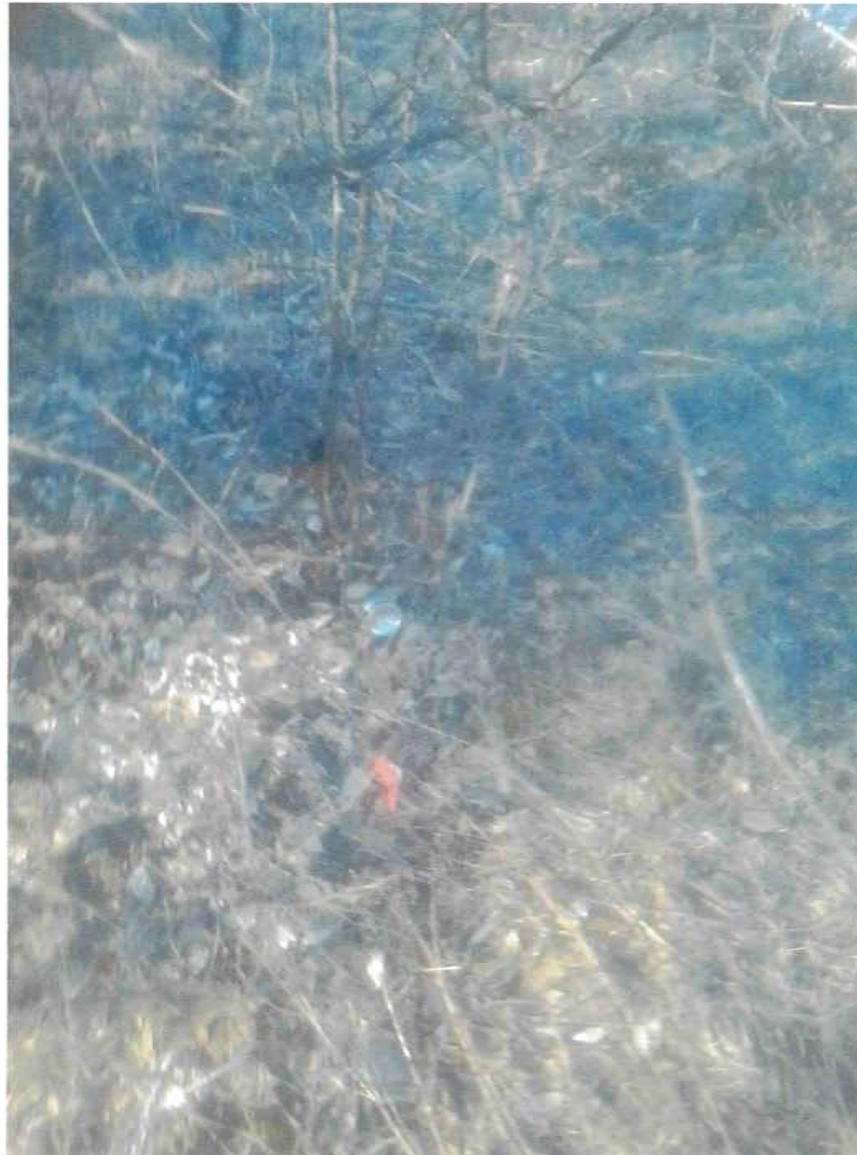


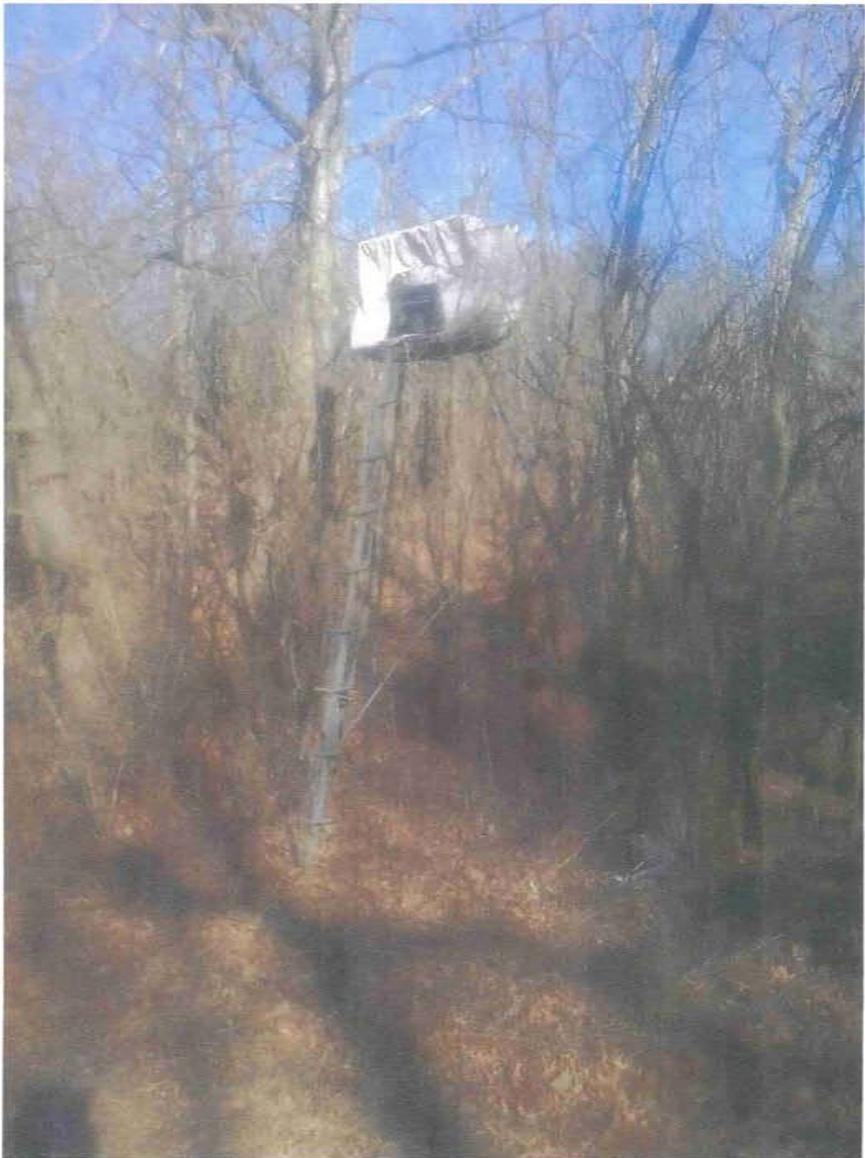
Hunting on Cretex property

Buck attracting spay



Marker for archery shooting YRD
marker on Cretex property.





2nd tree stand on Cretex property

Someone is cutting hay on Cretex property





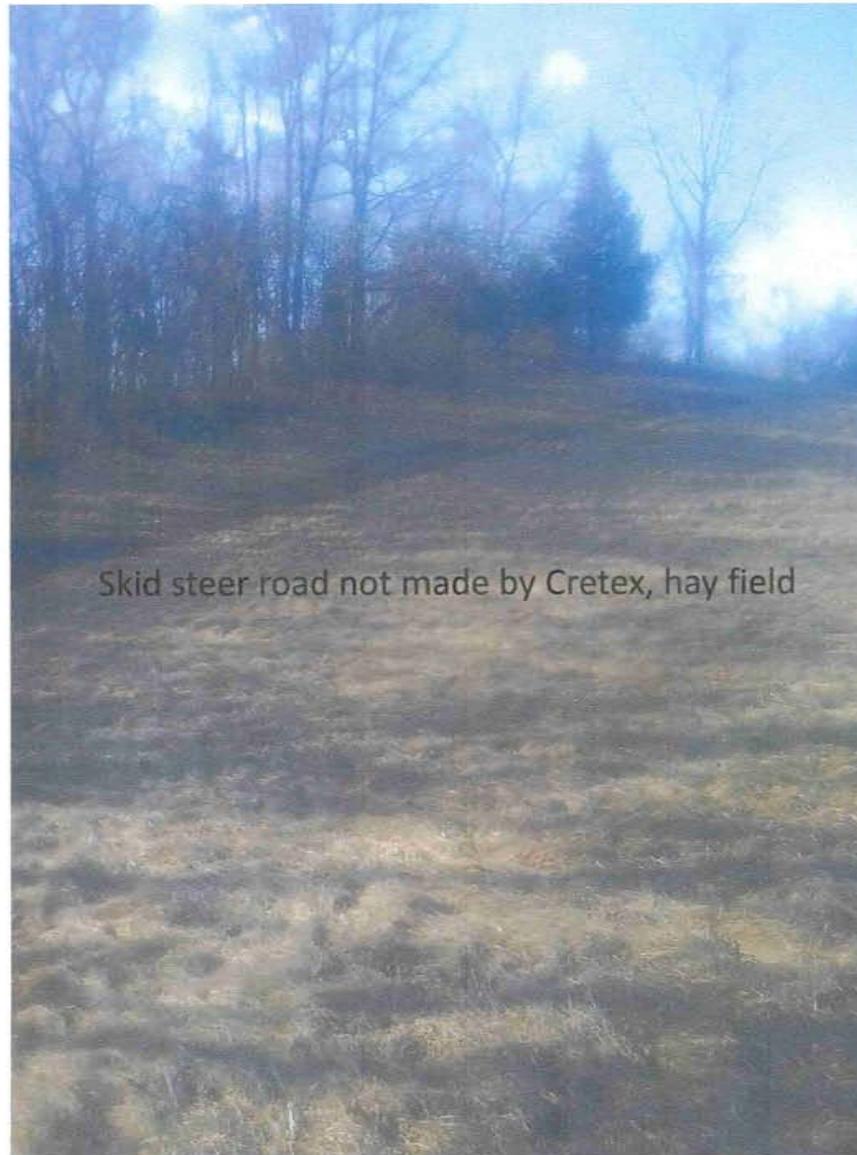
They shoot from picnic table onto Cretex Property

Target on Cretex property



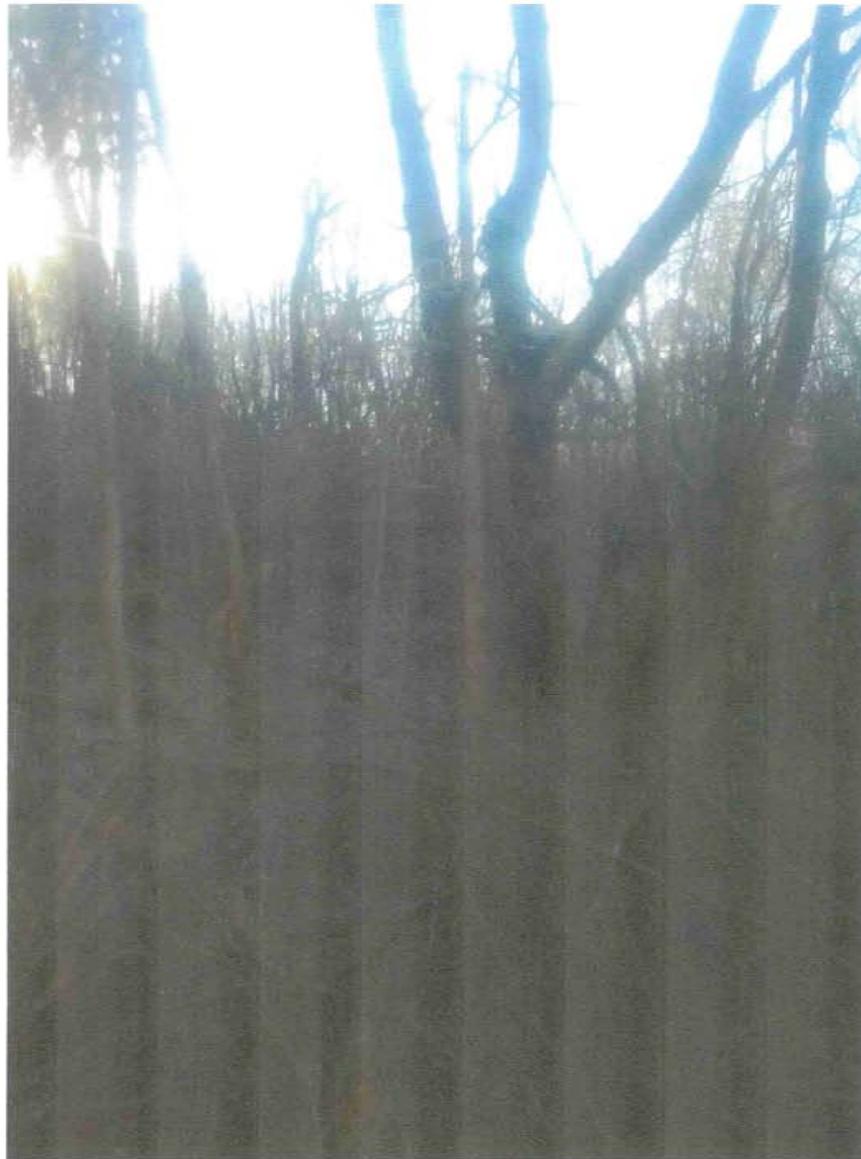


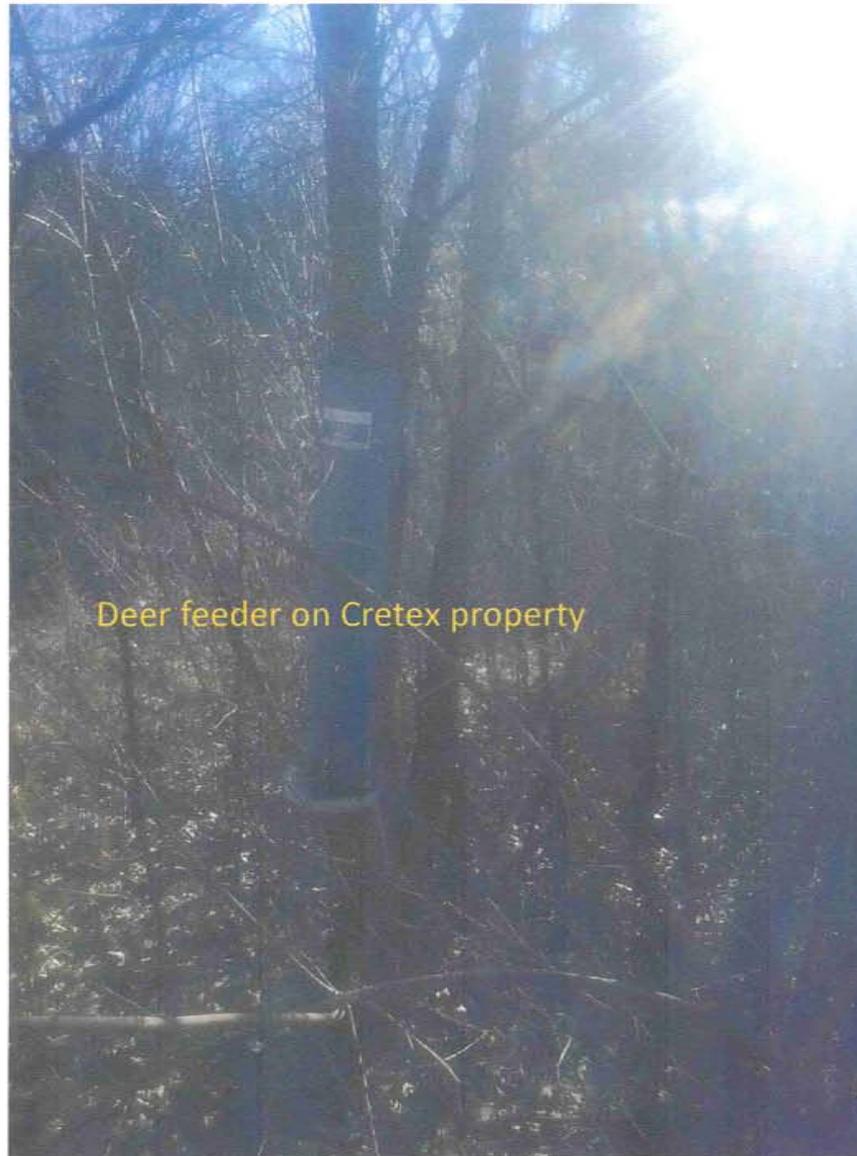
Hole dug by skid steer on Cretex property by tree stand



Skid steer road not made by Cretex, hay field

3rd tree stand



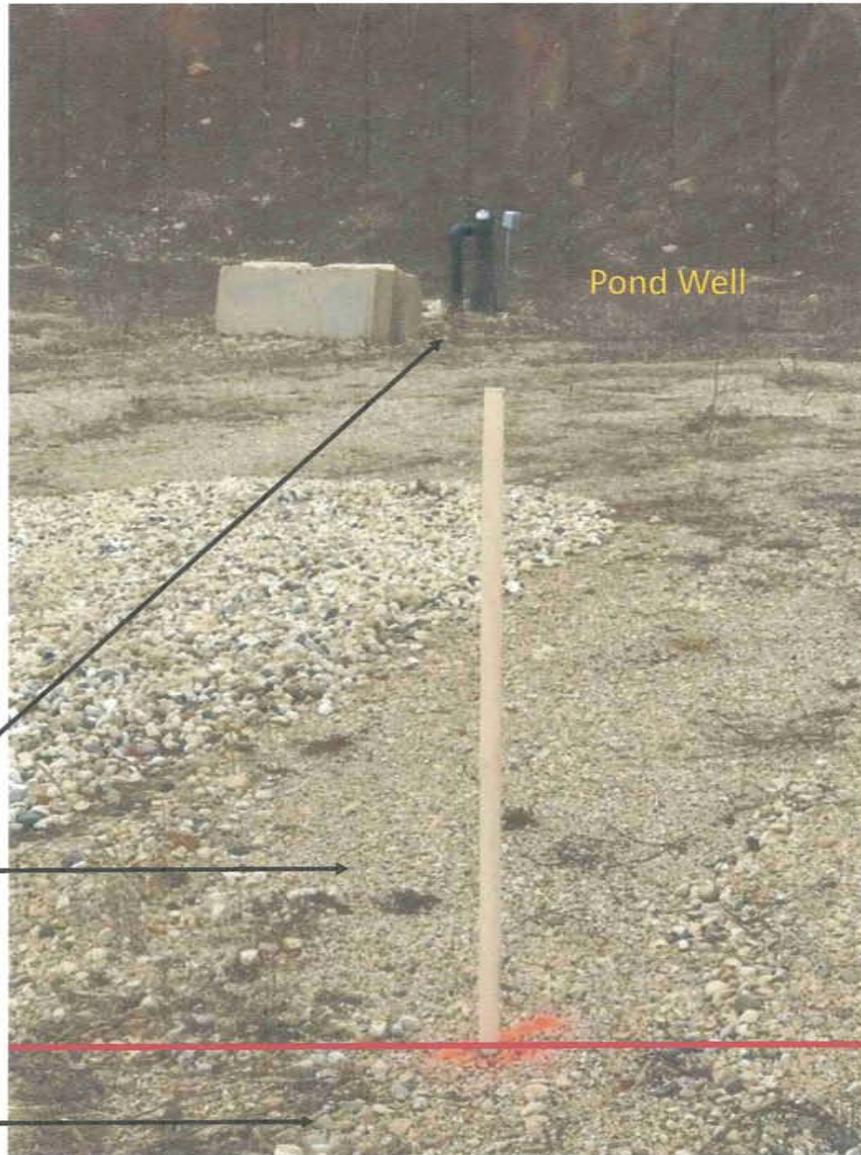


Deer feeder on Cretex property

Tree Stand on
Cretex Property







Pond Well

Town of Burlington

City of Burlington

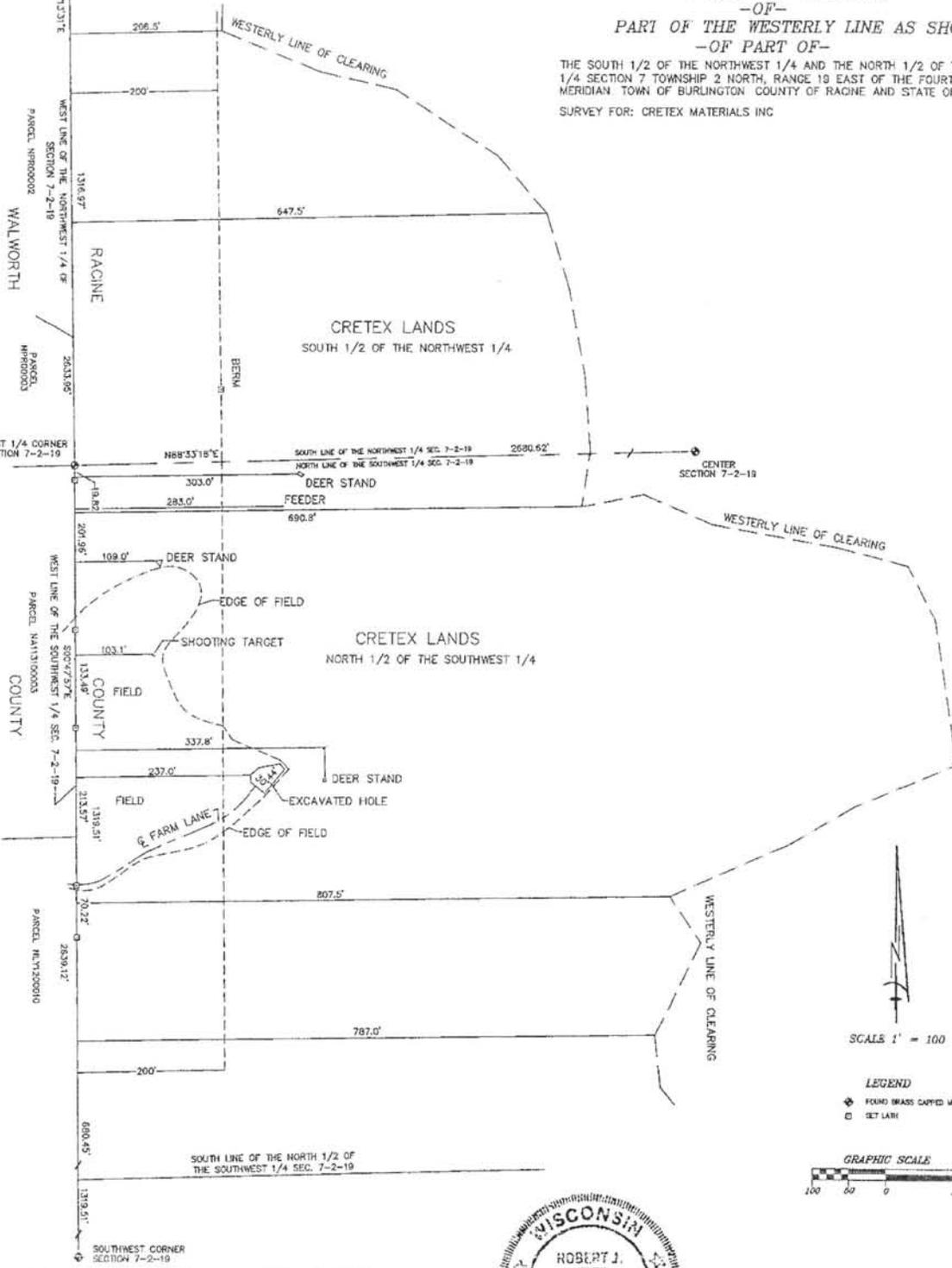


NORTHWEST CORNER
SECTION 7-2-19

NORTH LINE OF THE SOUTH 1/2 OF THE NORTHWEST 1/4 SEC. 7-2-19

PLAT OF SURVEY
-OF-
PART OF THE WESTERLY LINE AS SHOWN
-OF PART OF-

THE SOUTH 1/2 OF THE NORTHWEST 1/4 AND THE NORTH 1/2 OF THE SOUTHWEST 1/4 SECTION 7 TOWNSHIP 2 NORTH, RANGE 19 EAST OF THE FOURTH PRINCIPAL MERIDIAN TOWN OF BURLINGTON COUNTY OF RACINE AND STATE OF WISCONSIN
SURVEY FOR: CRETEX MATERIALS INC



SCALE 1" = 100

LEGEND
◆ FOUND BRASS CAPPED MONUMENT
□ SET LARK



B.W. SURVEYING, INC.

412 N PINE STREET
BURLINGTON, WI 53105
(262)-767-0225

THIS IS NOT AN ORIGINAL PRINT UNLESS
THIS SEAL IS RED.
Robert J. Wetzel
ROBERT J. WETZEL S-1778

| | | | |
|-------------|------|--------------|------------|
| DRAWN BY: | RW | DATE: | 03/09/2017 |
| CHECKED BY: | BW | DRAWING NO.: | 9292D1 |
| JOB NO.: | 9292 | SHEET | 1 of 1 |



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CITY OF BURLINGTON

Building & Zoning Department
300 N. Pine Street, Burlington, WI 53105
(262) 342-1163 – (262) 763-3474 fax
www.burlington-wi.gov

January 31, 2017

To: City of Burlington Plan Commission

From: Gregory Guidry, Building Inspector/Zoning Administrator

J. W. Peters was given approval for a Conditional Use to operate a mineral extraction operation on February 21, 1994 and modified on January 14, 2003 to include a Single-Family Residential Development. The mineral extraction business was sold to Cretex Materials who is the current owner of the site. This Conditional Use Permit is to be reviewed annually by the Plan Commission. This report serves as my annual review and recommendation.

On January 10, 2017, I went to the Cretex site and pit area with Carl Beck, the owner of Cretex. This was my first time visiting the site and pit. This review is a more detailed observation of my drive through. Listed below are suggestions and recommendations of areas of concern and areas that need updating after all these years. They are listed in order based upon the J.W. Peters Conditional Use Permit letter from June 20, 1994 as follows:

- #2. **Excavation** - Cretex is currently in Phase III of the Conditional Use Permit, so an update of the excavation and restoration up to 2017 should be submitted.
- #3. **Set backs** - There has been a complaint regarding tree clearing along the property line of the Thomsen property 200 feet buffer zone. There has been a clear cut of all trees and shrubs up to the property line, photos are on file. I will be communicating with Cretex to get a better understanding as to why this took place. Mr. Beck informed me that they are required to have an emergency access road around the pit, which makes sense, but I am not sure why that should eliminate the trees buffer zone (see item 36).
- #7. **Wells** - Cretex informed me that they recently installed two new wells and one septic holding tank. One well is located in the City and one is in the Town. One of these wells and the septic holding tank are for the site job office, but were installed on City property without City permission. I will wait on City Council and legal counsel for direction.
- #8. **Base limit** - This condition directly addresses the depth/elevation of Phase I from 1994. We are currently in Phase III and the year 2017. We should be updated to any possible changes in previous approved elevations. Item #16 permits this request.
- #17. **As built** - Cretex should update City records by submitting a current "as built" survey.

- #20. **Stormwater** - I will work with the City Engineer to look into the approved stormwater drainage and detention system to make sure that all drainage stays on this property as required.
- #25. **Operations Plan** - An updated operations plan should be submitted to keep the City informed with the daily and future works of the site. This can be compared to the approved Conditional Use of 1994.
- #31. **Detention Areas** - I will be working with the City Engineer to review the 1994 submitted storm-water plan to make sure all stages are being followed.
- #36. **Buffer Zone** - As mentioned in item #5, this also pertains to the complaint of activity and clearing of the buffer zone. Number 36(e) reads that the access road may cross the buffer zone, it does not mention run along the buffer zone.
- #38. **Aerial Photograph** - This condition requires an updated aerial photo submitted to the City annually. This is important this year due to the complaint of the clear cutting taking place in the buffer zone.

Recommendation:

I feel that the Plan Commission should renew the Conditional Use Permit to Cretex for another year with the condition that the following items are submitted to the City:

- 1) A current aerial photo showing the recent clear cutting with the property lines imposed so we can see the clearing in relation to the property line. This should include the measurement of the width of the clear cut that appears to be in the buffer zone.
- 2) A current survey with the progression phases identified, the restoration areas, the detention ponds, the elevations, the approved slopes where appropriate and the well locations.
- 3) A current stormwater management plan with all necessary information for our City Engineer to verify that the City requirements are being met.
- 4) A current set of "as built" plans and an updated operations plan of all future extractions.



COPY

City of Burlington

City Hall - 300 N. Pine Street

Burlington, Wisconsin 53105-1435

Phone: (262) 342-1161 Fax: (262) 763-3474

www.ci.burlington.wi.us

June 20, 1994

Mr. John Nanna, President
J. W. Peters and Sons, Inc.
34212 Market St.
P. O. Box 160
Burlington, WI 53105

RE: J. W. Peters Conditional Use Permit

Dear Mr. Nanna:

On February 21, 1994, the Plan Commission of the City of Burlington approved your request for a conditional use permit for the mineral extraction operation you have proposed on the land fully described in Exhibit A of this document. This request was approved subject to your compliance with the following conditions by the City of Burlington:

1. The Conditional Use Permit is for a multi-phase operation which will be initially issued for a one (1) year period and must be reviewed and extended annually by the Plan Commission.
2. The excavation for Phase I shall take place in accordance with the site plan submitted on February 10, 1994.
3. The set back on the Phase I parcel will be 200 feet as shown on the grading plan prepared by Howard, Needles, Tammen and Bergendoff (HNTB) dated July 1, 1993.
4. You shall plant in the setback on the Thomsen/Cerami parcels in 1994, the trees and shrubs described in the attachment prepared by Scott Erickson of Rustic Road Landscaping. Some of these are to be replanted from excavated areas

and others transplanted from off site. Plantings and transplanted trees shall be reasonably maintained and watered for survival.

5. Any endangered plant species, in any area to be excavated, will be transplanted in the setback (buffer zone.) The Plan Commission will review protection of "threatened" plant species for all future phases of operation after Phase I.
6. The wetlands area (not to be disturbed) and the North prairie lands consisting in total of about 30.5 acres will be restored as shown on plans prepared by HNTB entitled Conceptual Development Plan for Residential Development, dated 10-30-02. Master Land Use Plan or as otherwise agreed to as part of the Conditional Use Permit process.

Additional area for Storm Water Management will be accommodated in the area designated as "LAKE" on the Conceptual Development Plan for Residential development prepared by HNTB and dated 10-30-02.

~~An additional approximately 40 acres will be restored to storm water management area and prairie within the interior as shown on plans prepared by HNTB entitled Conceptual Master Land Use Plan.~~

7. You shall repair or replace any existing well or any well drilled during the excavation period damaged as a result of the excavation, provided the well is located within 1500 feet of the Peters property line, and:
 - a. The owner of an existing well allows representatives of your company to inspect and test the well prior to the excavation, or
 - b. The owner of any well drilled during the excavation notifies J. W. Peters Company at the time of the completion of the drilling thereof, and allows the company to inspect the same to determine its condition.
8. The base limit to which excavation may occur in Phase I is established at an elevation of 800 feet, USGS datum. As a part of the City's Conditional Use permit review, the base limit of excavation for subsequent phases of excavation will be 775-780 feet USGS datum, dependent on material quality. ~~Established based upon information submitted by J. W. Peters and Sons, Inc. to the City Planning Commission as to the water table elevation for that phase of the proposed excavation, which excavation shall be limited to a depth of a minimum of twenty feet above the existing water table elevation.~~
9. There will be no blasting on the site.
10. All overburden shall be stockpiled on the subject property for future use in the restoration of the property. Stock piled overburden shall be covered with a temporary seeding within seven days after formation and shall have side slopes not steeper than 3:1.

11. No washing of materials will take place on the subject property.
12. Equipment to be used in this project shall be limited to conveyors, crushers, tool trailers, end loaders and trucks.
13. No materials will be hauled off the subject property over public roads. All materials will be removed off the subject property by covered conveyor. Until restoration is commenced, any access road to Highway P shall be used for: (a) personnel and equipment traveling to and from the excavation for the set up and operation of the excavation and transportation of materials by conveyor to the Peters plant; (b) personnel and equipment to complete planting and replanting in the buffer areas of shrubs and trees and the maintenance thereof; (c) transportation of conveyor and related crushing equipment, including front end loaders, tool trailers and trucks to be used on the excavation site; and, (d) personnel and equipment for stripping and restoration.
14. An irrevocable letter of credit, written to the City of Burlington in the amount of \$60,000 (computed at the rate of \$3,000 per disturbed acre) shall be supplied by J. W. Peters & Sons, Inc. Such letter of credit shall be provided prior to issuance of the Conditional Use Permit in form and content as approved by the City Attorney. The restoration letter of credit will be based on a phased operational plan, as outlined in paragraph No. 15 below, with the letter of credit amount computed upon the area in the phase which will be disturbed, which shall include any roads in the project. Upon completion of restoration and approval of said restoration by the City of Burlington, which approval shall not be unreasonably withheld, the Letter of Credit may be reduced by 80% of the original value. The Letter of Credit remaining of 20% will be retained as a guarantee that the security for a twelve month period to guarantee that the restoration improvements remain in good and sound condition.
15. Restoration shall include sloping and grading to a 3:1 side slope or flatter and seeding and/or sodding at the discretion of J. W. Peters of all the disturbed area. Restoration of each phase shall be completed in the planting season following excavation and finished grading.
16. The City of Burlington shall reserve the right to require, within thirty (30) days notice, a complete set of elevations, including the bottom of the excavation grades. These elevations must be taken by a registered land surveyor or professional engineer. This operation shall not occur below the grade shown on the submitted restoration plan.
17. The applicant shall provide the City of Burlington with any as built survey for each phase within 12 months after restoration is completed.

18. The Zoning Administrator or designee may enter the subject property in order to inspect and to ascertain compliance with all conditions or to investigate an alleged violation. Said inspections can occur whenever deemed appropriate by the City, but at a minimum will occur on a quarterly schedule. Unless the operation is in reasonable compliance with the terms of the Conditional Use Permit, such permit is subject to amendment or revocation.
19. All excavation and phase boundaries shall be staked or otherwise marked and may be inspected by the Zoning Administrator prior to commencing operations. Stakes shall be made of steel, fiberglass or other suitable materials as determined by the Zoning Administrator.
20. Storm water drainage shall be contained within the boundary of this property or the adjacent J. W. Peters property.
21. J. W. Peters shall be responsible for control and/or cutting of noxious weeds in compliance with the City of Burlington Weed Ordinance.
22. This operation shall conform to the State of Wisconsin air pollution control regulations.
23. J. W. Peters shall be responsible for obtaining all necessary federal, state and local permits, approvals and licenses.
24. All exterior lighting shall be arranged, oriented, or shielded in such a manner that direct radiation or glare from such source does not penetrate adjacent or nearby parcels or the public right of way. The source of such illumination shall be arranged, oriented or shielded in a manner which will not endanger the safety of pedestrian or vehicular traffic.
25. For all future phases, an operations plan shall be submitted to the City for review and approval at least 90 days prior to commencing operation. This plan shall include a plan view drawing and a description of the sequential stages of mining. The drawing shall show the location of the phase boundary stakes and the location and extent of the mining site to include but not be limited to mining refuse dumps, sediment ponds, sediment basins, stock piles, structures, erosion control, roads, utilities and other permanent or temporary facilities used in mining. Also a timetable for the commencement, duration and cessation of mining operations, and if seasonal operations are intended, the months of operation shall be identified.
26. This operation shall not discharge, or permit the discharge of any treated, untreated, or inadequately treated liquid, gaseous, or solid materials of such nature, quantity, obnoxiousness, toxicity, or temperature that might

COPY

- run off, seep, percolate, or wash or be harmful to human, animal, plant or aquatic life.
27. No sediment or other solid material shall be permitted to be transported off this site and deposited in any wetland areas or onto abutting properties.
 28. Dust control shall be established on all internal haul roads. Dust palliative must be D. N. R. approved. The applicant shall take appropriate measures to control dust during crushing operations in accordance with State and Federal requirements.
 29. Silt fences shall be installed as shown on the restoration plan prior to earth disturbances in those areas. These silt fences shall be maintained until those areas are reestablished in a vegetative cover.
 30. All finished slopes of the project shall be 3:1 or flatter. The restoration of this site shall have the overburden material replaced and covered with a minimum of three inches of soil cover prior to seeding and mulching.
 31. Direct all surface water to the detention areas as shown on the plan. These detention areas shall be designed to contain the volume of water that would be produced from a 25 year rainfall. Keep all sediment from leaving these sites and detention areas. Additional measures may be required to protect the wetlands.
 32. No direct access road to this site from C.T.H. "P" will be used for excavated material hauling. All excavated material will be transported via conveyor. There shall be no more than two access roads from C.T.H. "p" (McHenry Street) allowed as a condition of this permit. A third access road from the north, from private property, is also permitted to service the conveyor, as well as to haul personnel and equipment. These access roads for employees and equipment shall be maintained in an all-weather, dust-controlled condition.
 33. All detention areas should have 3:1 side slopes or flatter and be fenced with warning signs around these ponds.
 34. All noise shall be so muffled or otherwise controlled so as to meet City of Burlington noise regulations.
 35. As Phases 2, 3, and 4 are completed and after completion of the restoration, required by conditional use permits issued by the City, that part of the Cerami/Thomsen parcels included in the completed phase area and as indicated in the Park Map, attached hereto shall be conveyed to the City by Peters

pursuant to s. 27.08(2)(b) Wis. Stats. The City shall have the option to accept or reject such conveyance in part or in total. In the event that the City elects not to accept a conveyance of all or part of the proposed park, Peters shall cause a restrictive covenant to be recorded on said lands excluding any development thereon except for its use as a recreation area for residents of the subdivision in the Thomsen/Cerami parcels. Peters shall not be required to transfer any land required to provide road access and utilities to the Thomsen/Cerami parcels.

36. There shall be no activity and no equipment in the buffer zone except:
 - a. Planting, transplanting and maintenance of trees and shrubs:
 - b. As may be required for restoration after a phase of excavation is completed:
 - c. In the prairie land there will be stock piling of materials and temporary equipment storage;
 - d. A conveyor and the equipment necessary to install and maintain it; and
 - e. Access roads crossing the buffer zone.
37. Hours of operation shall not exceed 6:00 a.m. to 6:00 p.m., Monday through Friday; there shall be no excavation, rushing, or processing on Saturdays, Sundays or holidays.
38. In the Fall of 1994, the applicant shall have an aerial photograph taken of the entire parcel of land controlled under this Conditional Use Permit from directly overhead and provided to the City. A similar photograph shall be submitted each year that the Conditional Use Permit is in effect.
39. Prior to receipt of approval of an operational plan for Phases 2, 3 and 4, no activities in Phases 2, 3 and 4 shall occur except:
 - a. Selective logging to remove mature, diseased or dead trees; and
 - b. Construction and use of the permitted access roads

No additions, deletions, or changes may be made to these conditions without the prior approval of the City of Burlington.

Failure to comply with the terms and conditions stated herein may result in the issuance of citation(s) and/or amendment or revocation of this permit.

COPY

Your accepting the conditional use permit and beginning the project means that you have read, understand and agree to follow all conditions of this approval. Therefore, J. W. Peters and Sons, Inc., its officers, heirs, successors and assigns are responsible for full compliance with the above conditions.

Sincerely,

CITY OF BURLINGTON

Jack Daams
Zoning Administrator

JD/MK/jmm

cc: Lloyd, Phenicie, Lynch and Kelly, S. C.
City Attorney Tom Dolatowski

40. Prior to this development proceeding and before any excavation below the normal water level of the lake can begin, J. W. Peters shall submit a plan to the City of Burlington and any other applicable governmental agency to insure ground water quality and the surface water quality of the lake.
41. This Conditional Use Permit does not imply approval of any rezoning or platting for the property. At the time of platting J. W. Peters shall:
 - a. Meet all current storm water detention, retention and water quality regulations
 - b. Comply with all City roadway, sanitary sewer, and water facilities construction specifications

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- c. Provide the City with a maintenance agreement for all private roadways and open space areas of the subject property.
- d. Agree to pay a prorated share (based upon road frontage along C.T.H. "P"/McHenry Street) of the extension of public sanitary sewer and/or water main facility costs along C.T.H. "P"/McHenry Street.
- e. Comply with all City, County, State and Federal regulations governing development of the type illustrated in Exhibit "A" (dated 10/30/02).



PLAN COMMISSION

ITEM NUMBER: 8A

DATE: March 14, 2017

SUBJECT: Consideration to approve a Conditional Use and application at 2548 S. Teut Road.

SUBMITTED BY: Gregory Guidry, Building Inspector and Zoning Administrator

PROJECT/SCOPE:

This item is to consider approving a Conditional Use application from Creature Comforts, LLC for property located at 2548 S. Teut Road. The applicant is proposing to add a dog grooming business in a 593 square foot existing accessory structure.

Creature Comforts has been operating at this location since November 28, 2011 with no complaints received to the city.

ZONING:

The parcel is zoned B-1, Neighborhood Business District.

RECOMMENDATION:

Graef recommends approval of this Conditional Use, subject to items listed in the March 2, 2017 memorandum.

TIMING/IMPLEMENTATION:

This item is for consideration at the March 14, 2017 Plan Commission meeting. No further action is necessary.

MAP:





collaborāte / formulāte / innovāte

MEMORANDUM

TO: Plan Commission
City of Burlington

Copies to: Carina Walters, City Administrator
Megan Watkins, Director of Administrative Services
Gregory Guidry, Building Inspector
Gregory Governatori, City Engineer, Kapur & Associates, Inc.
Sandra Miller, Applicant

FROM: GRAEF
Kristian Vaughn
Tanya Fonseca, AICP

DATE: March 2, 2017

SUBJECT: Review of Conditional Use Permit Amendment for Creature Comforts LLC at 2548 S. Teut Road, Burlington, WI 53105

A. PURPOSE

- 1) Consider for approval a Conditional Use Permit Amendment Application from Sandra Miller of Creature Comforts LLC (Applicant) to add a dog grooming business in an accessory structure on parcel 206-03-19-22-011-000 located at 2548 S. Teut Road, Burlington, WI 53105.

B. RECOMMENDATION

Based upon the review of the submitted materials, GRAEF recommends that the Plan Commission recommend to the Common Council the **APPROVAL** of the following:

- a. a Conditional Use Permit Amendment Application from Sandra Miller of Creature Comforts LLC (Applicant) to add a dog grooming business in an accessory structure on parcel 206-03-19-22-011-000 located at 2548 S. Teut Road, Burlington, WI 53105 subject to the following recommendation:
 - (1) It is recommended that the additional two parking spaces required pursuant to Chapter 315 Table 5 "Off-Street Parking and On-Site Queuing Requirements for Use Types" be waived and that the two uses be allowed to utilize the existing 11 spaces.

C. BACKGROUND

Sandra Miller of Creature Comforts LLC (Applicant) submitted a Conditional Use Permit Application to amend her original 2010 conditional use permit to add a dog grooming business as a use in the existing

accessory structure on parcel 206-03-19-22-011-000 located at 2548 S. Teut Road, Burlington, WI 53105.

The existing principal use on parcel 206-03-19-22-011-000 is a veterinary clinic with approximately 2,929 square feet of floor area. Eleven parking spaces are available to customers, including one accessible parking space. The hours of operation are Monday-Friday from 9am-6pm and select Saturdays from 9am-12pm. The accessory structure that is proposed to be occupied has 593 square feet of floor area and is currently used for storage. All Dogs Grooming, LLC will occupy the space. The business will operate with one employee from 8am-4pm, presumably on weekdays.

Parcel 206-03-19-22-011-000 is zoned B-1 "Neighborhood Business District." The parcel is bordered by a church zoned I-1 "Institutional" and a residential subdivision zoned Rs-2 "Single-Family Residence District." Existing landscaping includes mature spruce trees that screen the side and rear yards from view.

The Applicant submitted the following materials:

- a. Conditional Use Permit Application (3 sheets, as prepared by Sandra Miller, dated February 6, 2017)
- b. Site Plan Drawings – Landscape, Architectural, and Grading – 11"x17" Set (3 sheets, as prepared by Unique Services, Inc., SLMaher Architectural Group, and Losik Engineering Design Group, dated June-November 2010) *NOTE: The Site Plan Drawings were initially developed for the 2010 permitting process that issued the original conditional use permit and construction permit for the addition to the clinic building. For this submittal, the Applicant provided handwritten notations on the drawings to indicate the project intent. Because of the accuracy and completeness of the drawings, the Applicant's intent is easily understood and the drawings allowed for a complete review.*

D. CONDITIONAL USE WITHIN ZONING CODE §315-26 "B-1 NEIGHBORHOOD BUSINESS DISTRICT"

City of Burlington Zoning Code §315-26(D)(10 & 12) list "Veterinary clinics, provided that no service, including the boarding of animals, is offered outside of an enclosed building" and "Pet grooming shop, provided that no sales or services are offered outside of an enclosed building and no boarding or breeding of animals takes place on the premises" as conditional uses within the B-1 "Neighborhood Business District." Their combined operation on parcel 206-03-19-22-011-000 would be appropriate.

Parcel 206-03-19-22-011-000 and its structures continue to conform to the dimensional and operational requirements in §315-26. Because the parcel and structures will retain their current characteristics, the proposed use is compliant.

E. COMPLIANCE WITH ZONING CODE §315-48 "PARKING REQUIREMENTS"

Eleven striped parking spaces are currently provided on site, including one accessible parking space. The addition of the dog grooming business would create a minor increase in the intensity of use on the site. Chapter 315 Table 5 "Off-Street Parking and On-Site Queuing Requirements for Use Types" requires 3.3 parking spaces for every 1,000 square feet of floor area for a "Commercial Use: Office General." The

total occupied floor area on site for the veterinary clinic and dog grooming business will be 3,522 square feet; this floor area would require 13 parking spaces. Thus, the current parking lot would have a parking deficit of two spaces.

We recommend the waiving of this requirement to allow the Applicant to retain the current 11 parking spaces without requiring the additional construction of two more. While the dog grooming business will generate additional activity on site, the activity will likely be minor and will not negatively impact the current parking capacity. Further, grooming activity may overlap with veterinary clinic activity.

F. COMPLIANCE WITH ZONING CODE §315-130 "CONDITIONAL USE PERMIT"

Pursuant to §315-130(E), an amendment to a conditional use for an enlargement of the use on site requires the project proceed through the steps required for an original review and issuance.

Per the requirements enumerated in §315-130(A), the Applicant has submitted the necessary materials for a complete review of the amended conditional use permit.

As the dog grooming business will complement the existing veterinary clinic, it would be appropriate for the site; and, the minor increase in activity and intensity on the site will not likely pose a problem. Given these considerations, the amendment to the 2010 conditional use permit is appropriate.



Building & Zoning Department
300 N. Pine Street, Burlington, WI, 53105
(262) 342-1163 – (262) 763-3474 fax
www.burlington-wi.gov

APPLICATION FOR A ZONING PERMIT,
CERTIFICATE OF COMPLIANCE,
OR
CONDITIONAL USE PERMIT

| | |
|-----------------------|--------|
| FOR OFFICE USE ONLY | |
| PERMIT NO. (not C.U.) | _____ |
| AMOUNT PAID \$ | 500 |
| DATE FILED | 2/6/17 |
| DATE PUBLISHED | _____ |
| PUBLIC HEARING DATE: | _____ |
| RECEIVED BY: | KA |

- Zoning Permit - \$25.00
- Certificate of Compliance - \$15.00
- Joint Zoning/Certificate of Compliance - \$35.00
- Conditional Use Permit - \$500 Deposit +/- Actual cost

Instructions: Applications are to be filed with the Zoning Administrator, who shall refuse applications that are not complete or that are not legible.

NAMES AND ADDRESSES

Applicant Creature Comforts LLC

Phone No. 262-534-9392 Fax No. 262-514-2878

Applicant's Address 2548 S. Teut Rd

Owner of the site Sandra Miller

Phone No. 262-206-4591 (cell) Fax No. _____

Owner's address 841 Ridgemoor Dr

Architect / Professional Engineer _____

Architect / Professional Engineer Address _____

Contractor Bob Riggs Construction Inc license # 2441

Contractor's Address 725 Shiloh Ct, Burlington, WI

DESCRIPTION OF THE SUBJECT SITE

Address 2548 S. Teut Rd

Or if no address exists: Parcel Identification No. _____

Existing Zoning classification B-1

Description of existing use veterinary clinic
Description of the proposed use add on grooming business
Number of employees / Hours of operation 1 owner/employee ; 8a-4p

**ATTACHMENTS –
THE FOLLOWING ITEMS MAY NEED TO BE ATTACHED TO THIS APPLICATION:**

PLAT OF SURVEY – prepared by a registered land surveyor showing the location, boundaries, elevations, uses and size of the following: subject site; existing and proposed structures; existing and proposed easements, streets and other public ways; off-street parking, loading areas and driveways; existing highway access restrictions; existing and proposed street, side and rear yards. In addition, the plat of survey shall show the location, elevation, and use of any abutting lands and their structures within (40) feet of the subject site.

If municipal sewage service or water service is not available, a plan shall be approved by the City Engineer who shall certify in writing that satisfactory, adequate and safe sewage disposal and/or a safe supply of water, is possible on the site as proposed by the plan in accordance with applicable local, county and state board of health regulations.

Additional information as may be required by City Officials.

Reason for requesting a Conditional Use (for Conditional Use Permit Only):

The structure is an old garage that we
currently use for storage. We'd like to convert
this structure to a grooming facility for dogs.
All dogs Grooming, LLC will rent the
structure.

Certificate – I hereby certify that all the preceding statements and attachments submitted hereto are true and correct to the best of my knowledge and belief.

| | | |
|-----------|-------------------------------------|---------------------------------------|
| Applicant | <u>Sandra Miller</u> (Signature) | <u>sandra Miller</u> (Print) |
| Owner | <u>Sandra Miller</u> (Signature) | <u>Sandra Miller</u> (Print) |
| Date: | <u>2-6-17</u> | Date application Filed: <u>2-6-17</u> |

- Applications will not be processed without the property owner's signature.
- Permit may be revoked without notice if misrepresentation of any of the above information or attachments is found to exist.
- Permit is Null and Void if issued in error. It is understood that any permits issued on this application will not grant any right or privilege to erect any structure or to use any premises for any purpose that is prohibited by the Zoning Ordinance or any other state or local laws.
- Changes in the plans or specifications submitted in the original application shall not be made without prior written approval of the Zoning Administrator.

Zoning Administrator: _____
(Signature)

Date: _____



Unique Services, Inc
 4915 Cal Drive
 West Bend, WI 53095
 262-338-4804

Creature Comfort

Note: These plans are conceptual only and not intended for construction purposes. All measurements must be verified in the field. Lot lines were unknown at the time this drawing was made. All construction must be engineered and constructed to meet local and state requirements. This drawing is the property of Unique Services, Inc. and Unique Services, Inc. is entitled to compensation for use of any part of this design.

Landscape Design by:

Jonathan L Schultz

Revision #:

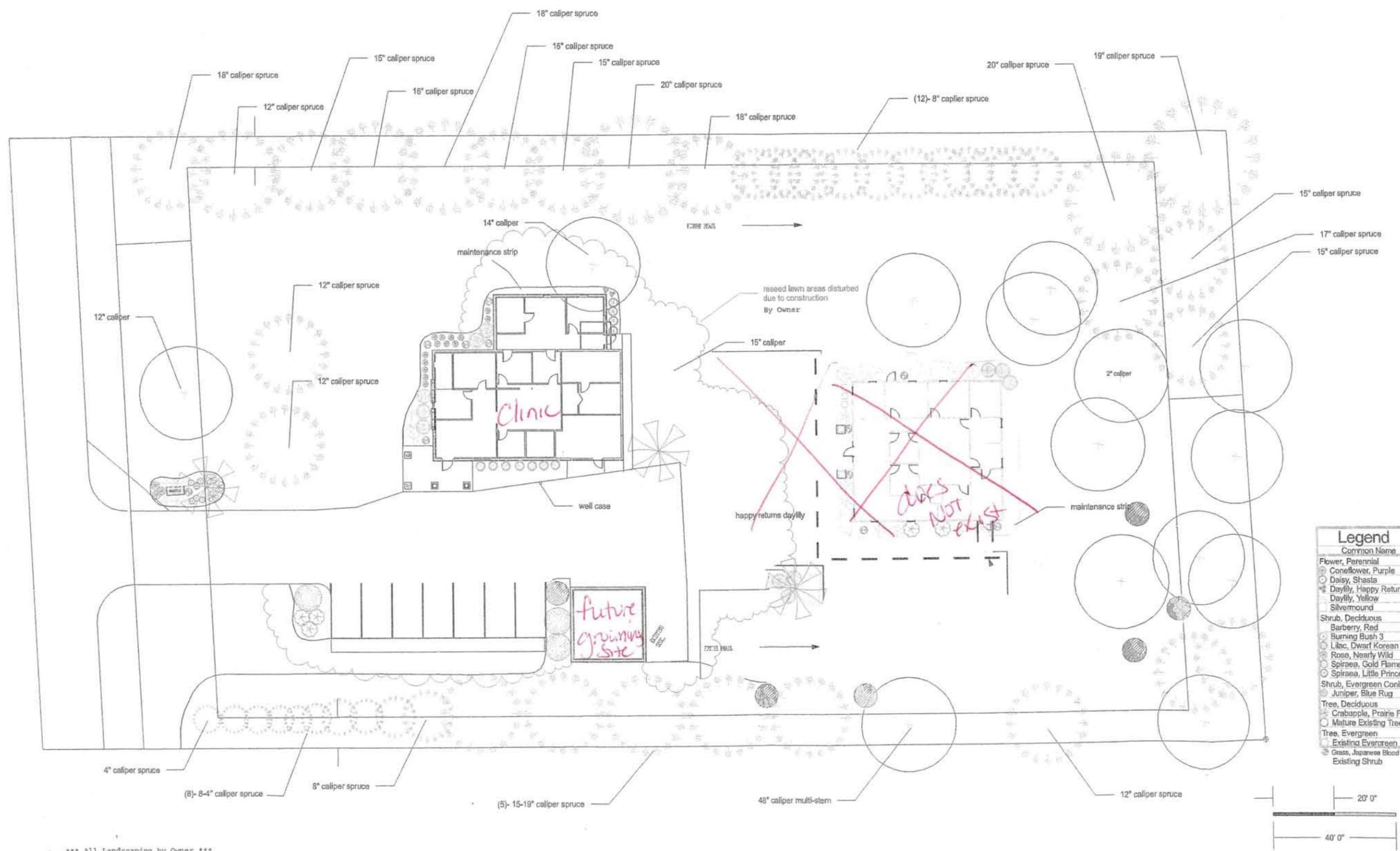
4

Plan:

L-102

Date: 11/11/2010

Scale: 0' 1" = 16' 0"



| Legend | |
|-------------------|--------------------------|
| Common Name | |
| Flower, Perennial | Coneflower, Purple |
| | Daisy, Shasta |
| | Daylily, Happy Returns |
| | Daylily, Yellow |
| | Silverblood |
| Shrub, Deciduous | Barberry, Red |
| | Burning Bush 3 |
| | Lilac, Dwarf Korean |
| | Rose, Nearly Wild |
| | Spiraea, Gold Flame |
| | Spiraea, Little Princess |
| Shrub, Evergreen | Conifer |
| | Juniper, Blue Rug |
| Tree, Deciduous | Crabapple, Prairie Fire |
| | Mature Existing Tree |
| Tree, Evergreen | Existing Evergreen |
| | Grass, Japanese Blood |
| | Existing Shrub |

*** All Landscaping by Owner ***

MASTER GRADING, PAVING & EROSION CONTROL PLAN

ENGINEER
 LOSIK ENGINEERING DESIGN GROUP, LTD.
 P.O. BOX 1957
 BROOKFIELD, WI 53008
 TEL: 262-790-1480
 EMAIL: LEDG@LOSIKENGINEERING.COM



**CREATURE COMFORTS
 HOUSE CALL
 VETERINARY SERVICE**

PROPERTY SURVEY PREPARED BY:
 METROPOLITAN SURVEY SERVICE INC.
 5307 S. 92ND STREET, SUITE 140
 MALES CORNERS, WI 53002
 TEL: 414-529-5360
 EMAIL: SURVEY@MSRRC.COM

115 SOUTH TEUT ROAD, BURLINGTON, WI

SITE DEVELOPMENT INFORMATION

- THE PROJECT WILL BE CONSTRUCTED IN PHASES.
- PHASE I - EX. BLDG REMOVAL, BUILDING ADDITION AND NEW FRONT AREA PARKING AND PAVEMENT WIDENING.
- FUTURE PHASE - FUTURE CLINIC AND ADJACENT REAR PARKING, SEPTIC AND ASSOCIATED SITE IMPROVEMENTS.
- PROPERTY IS CURRENTLY SERVED BY A PRIVATE WELL THAT WILL ALSO BE USED FOR THE NEW BUILDING.
- THE EXISTING BUILDING IS SERVED BY A PRIVATE SEPTIC SYSTEM. A NEW SEPTIC SYSTEM WILL BE INSTALLED FOR THE NEW BUILDING.
- THE PROPERTY IS NOT WITHIN A MAPPED FLOODPLAIN PER FEMA PANEL NO. 550347 0035 B.

6" - 12" CMP
 CULVERT
 EXTENSION MATCH
 EXISTING SLOPE



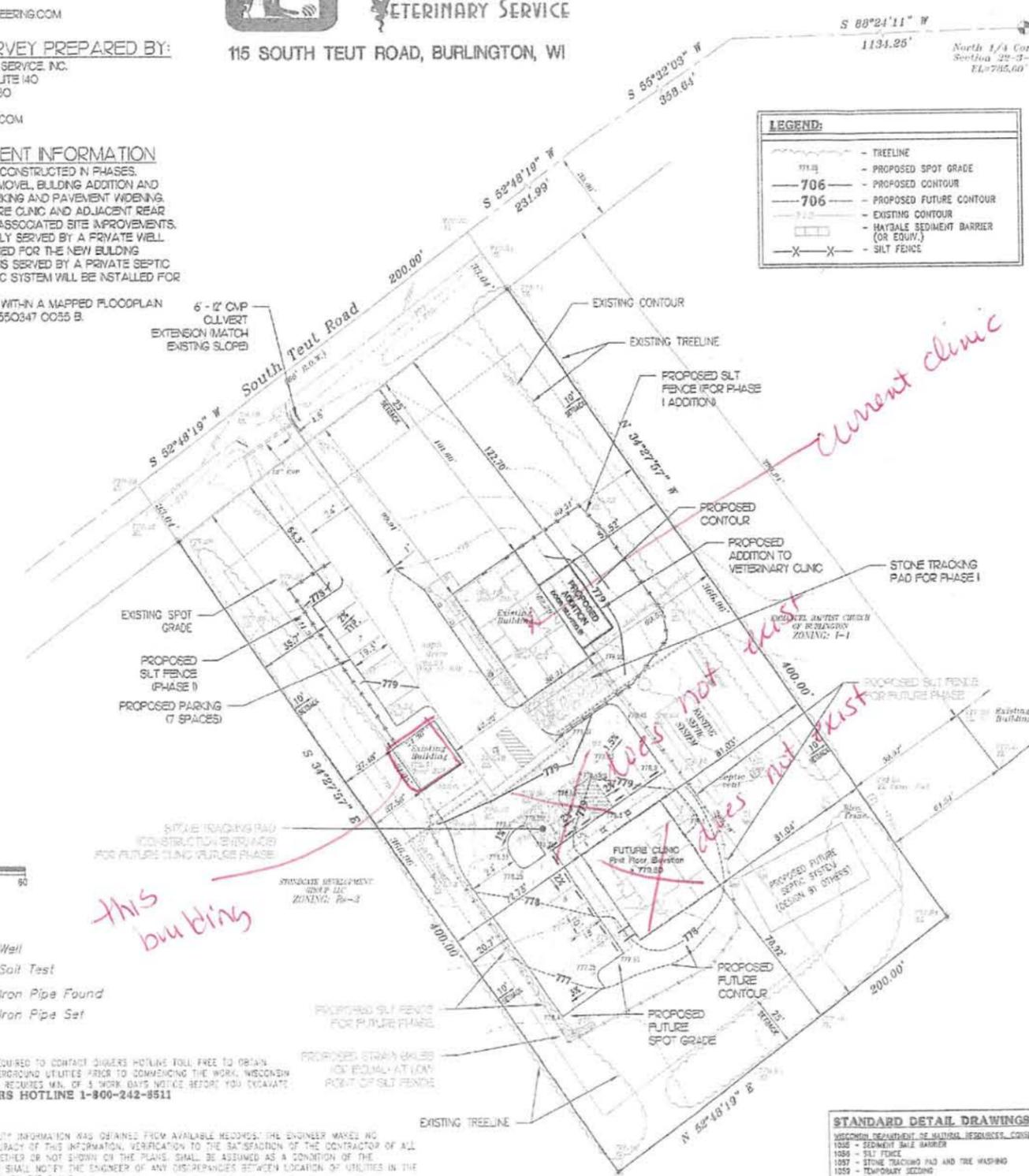
- - Denotes Well
- - Denotes Soil Test
- - Denotes Iron Pipe Found
- - Denotes Iron Pipe Set

NOTICE:
 CONTRACTOR IS REQUIRED TO CONTACT DIGGERS HOTLINE TOLL FREE TO OBTAIN LOCATION OF UNDERGROUND UTILITIES PRIOR TO COMMENCING THE WORK. WISCONSIN STATUTE 192.0715 REQUIRES MIN. OF 3 WORK DAYS NOTICE BEFORE YOU EXCAVATE. CALL DIGGERS HOTLINE 1-800-242-8511

NOTE:
 EXISTING UNDERGROUND UTILITY INFORMATION WAS OBTAINED FROM AVAILABLE RECORDS. THE ENGINEER MAKES NO GUARANTEE AS TO THE ACCURACY OF THIS INFORMATION. VERIFICATION TO THE SATISFACTION OF THE CONTRACTOR OF ALL UNDERGROUND UTILITIES, WHETHER OR NOT SHOWN ON THE PLANS, SHALL BE ASSUMED AS A CONDITION OF THE CONTRACT. THE CONTRACTOR SHALL NOTIFY THE ENGINEER OF ANY DISCREPANCIES BETWEEN LOCATION OF UTILITIES IN THE FIELD AND LOCATIONS SHOWN ON THE PLANS.

LEGEND:

- TREELINE
- PROPOSED SPOT GRADE
- 706 - PROPOSED FUTURE CONTOUR
- 706 - EXISTING CONTOUR
- HAYBALE SEDIMENT BARRIER (OR EQUIV.)
- SILT FENCE



CONSULTANT DOCUMENTATION:
 THE LATEST EDITIONS OF THE FOLLOWING DOCUMENTS AND ANY SUPPLEMENTS THERETO, SHALL GOVERN ALL CONSTRUCTION ITEMS ON THIS PLAN UNLESS OTHERWISE NOTED.

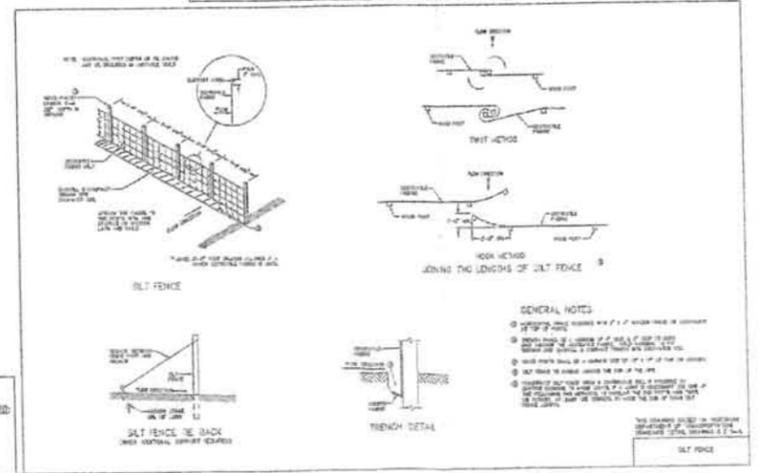
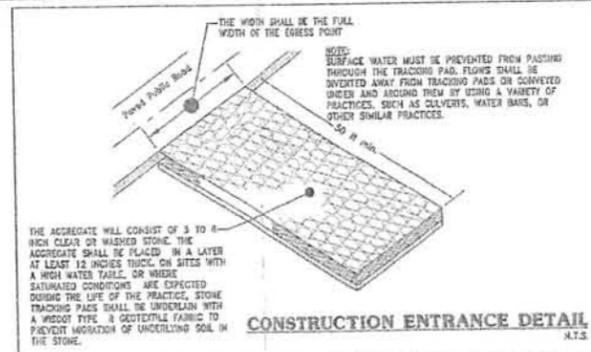
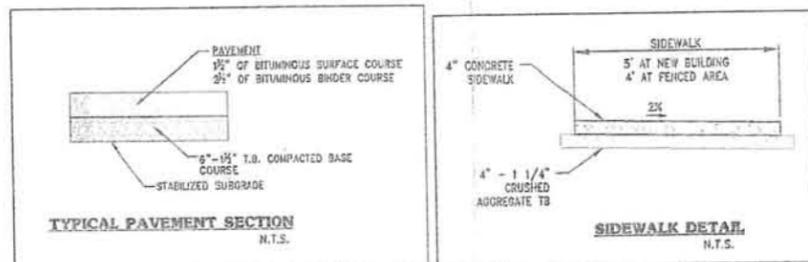
- STANDARD SPECIFICATIONS FOR SEWER AND WATER CONSTRUCTION IN WISCONSIN, 8TH EDITION (2010)
- THE WISCONSIN D.O.T. STANDARD SPECIFICATIONS FOR HIGHWAY AND STRUCTURE CONSTRUCTION, LATEST EDITION
- WISCONSIN DEPARTMENT OF TRANSPORTATION TECHNICAL STANDARDS
- WISCONSIN DEPARTMENT OF TRANSPORTATION APPROVED EROSION CONTROL MEASURES LIST, LATEST EDITION

CONTRACTOR RESPONSIBILITIES:

- EXISTING UNDERGROUND UTILITY INFORMATION WAS OBTAINED FROM AVAILABLE RECORDS AND FIELD SURVEY. THE ENGINEER MAKES NO GUARANTEE AS TO THE ACCURACY OF THIS INFORMATION. VERIFICATION TO THE SATISFACTION OF THE CONTRACTOR OF ALL UNDERGROUND UTILITIES, WHETHER OR NOT SHOWN ON THE PLANS, SHALL BE ASSUMED AS A CONDITION OF THE CONTRACT. THE CONTRACTOR SHALL NOTIFY THE ENGINEER OF ANY DISCREPANCIES BETWEEN LOCATION OF UTILITIES IN THE FIELD AND LOCATIONS SHOWN ON THE PLANS.
- THE LOCATION, SUPPORT, PROTECTION AND RESTORATION OF ALL EXISTING UTILITIES AND APPURTENANCES SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR AND SHALL BE INCLUDED IN THE UNIT PRICE BID FOR THE VARIOUS ITEMS.
- THE CONTRACTOR SHALL BE SOLELY RESPONSIBLE FOR COMPLYING WITH ALL APPLICABLE FEDERAL, STATE AND LOCAL SAFETY REQUIREMENTS TOGETHER WITH EXERCISING PRECAUTIONS AT ALL TIMES FOR THE PROTECTION OF PERSONS (INCLUDING EMPLOYEES) AND PROPERTIES. IT IS ALSO THE RESPONSIBILITY OF THE CONTRACTOR AND SUB-CONTRACTORS TO WRITE, MAINTAIN AND SUPERVISE ALL SAFETY REQUIREMENTS, PRECAUTIONS AND PROGRAMS IN CONNECTION WITH THIS WORK. THE CONTRACTOR SHALL ALSO BE SOLELY RESPONSIBLE FOR ALL REQUIRED PERMITS, UNLESS OTHERWISE SPECIFIED.
- THE CONTRACTOR SHALL NOTIFY THE DESIGN ENGINEER AS CONSTRUCTION ACTIVITIES ARE COMPLETED TO PROVIDE CONSTRUCTION OVERSIGHT AND INSPECTION IN ACCORDANCE WITH THE CONSTRUCTION INSPECTION PLAN.
- THE OWNER WILL PROVIDE ALL SURVEYING AND CONSTRUCTION STAKING FOR THIS CONTRACT. THE CONTRACTOR SHALL EXERCISE CARE AND DILIGENCE IN PROTECTING THE SAME. ANY EXPENSE INCURRED FOR ADDITIONAL RESTAKING CAUSED BY CONTRACTOR'S NEGLIGENCE MAY BE CHARGED TO THE CONTRACTOR AND DEDUCTED FROM THE BIDS DUE HIM UNDER THIS CONTRACT.
- ALL TRENCHES SHALL BE BACKFILLED OR SECURELY PLATED DURING NON-WORKING HOURS.
- CONTRACTOR SHALL BE PREPARED FOR DETERIORATING CONDITIONS BY HAVING APPROPRIATE PUMPS AND FILTER BAGS ON-SITE FOR Dewatering and REMOVAL OF ALL SEDIMENT PER TOWN, COUNTY AND STATE REQUIREMENTS PER TECHNICAL STANDARD 1041.

TRAFFIC CONTROL:

- PUBLIC ROADS SHALL NOT BE FULLY CLOSED TO TRAFFIC AT ANY TIME. SINGLE LANE CLOSURES ARE PERMITTED. ALL INGRESS AND EGRESS TRAFFIC TO THE PROJECT SHALL BE LIMITED TO THE GRAVEL ENTRANCE TO THE PROPERTY.



JOB NUMBER: 842/10000-01
 DRAWN: J.P. FILED: J.P.
 CHECKED: J.P. FILED: J.P.
 DATE: 11/11/2010 03:20 PM

LOSIK ENGINEERING DESIGN GROUP
 1505 W. Capitol Drive
 Brookfield, WI 53005
 Phone: (262) 796-1480
 Fax: (262) 796-1481
 Email: ledg@losikengineering.com

| REVISIONS | |
|-----------|----------------|
| DATE | DESCRIPTION |
| 10-07-10 | PHASED PLAN |
| 11-11-10 | PLAN REVISIONS |

CREATURE COMFORTS
 AT
 115 SOUTH TEUT ROAD
 BURLINGTON, WI 53005

GRADING, PAVING, EROSION CONTROL

C.2

AUGUST 9, 2010



PLAN COMMISSION

ITEM NUMBER: 8B

DATE: March 14, 2017

SUBJECT: Consideration to recommend approval of a Certified Survey Map application at 180 Industrial Drive.

SUBMITTED BY: Gregory Guidry, Building Inspector and Zoning Administrator

PROJECT/SCOPE:

This item is to consider recommending approval a Certified Survey Map application from Kurt Petrie for property located at 180 Industrial Drive. This CSM, drafted by Kenneth B. Mehring, WLS, seeks to combine two lots into one parcel. The applicant is proposing to allow for the expansion of Lynch Display Van’s principal production facility and parking lot.

ZONING:

The parcel is zoned M-2, General Manufacturing.

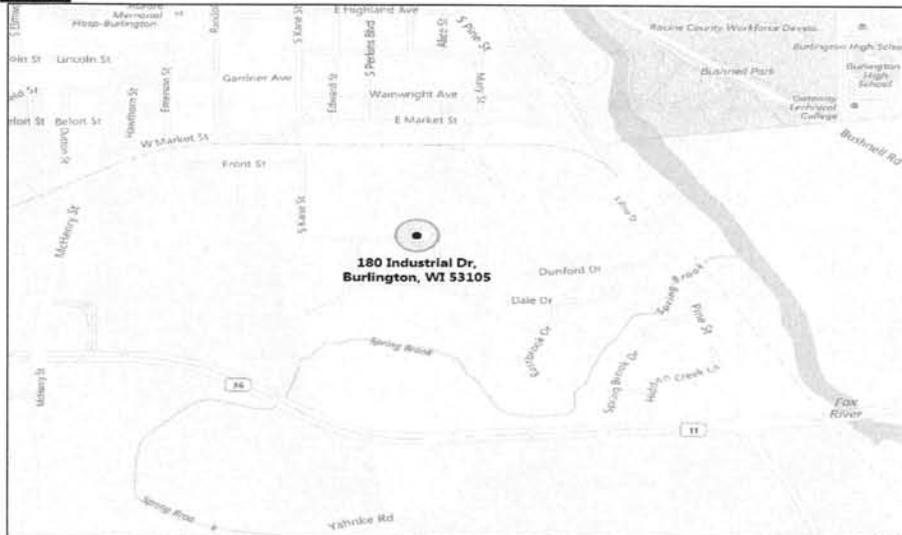
RECOMMENDATION:

Graef recommends a conditional approval of this CSM, subject to items listed in the March 10, 2017 memorandum.

TIMING/IMPLEMENTATION:

This item is for consideration at the March 14, 2017 Plan Commission meeting and will be placed on the March 21, 2017 Committee of the Whole and April 5, 2017 Common Council meeting for consideration.

MAP:





CITY OF BURLINGTON

Building & Zoning Department
300 N. Pine Street, Burlington, WI, 53105
(262) 342-1163 - (262) 763-3474 fax
www.burlington-wi.gov

APPLICATION FOR CERTIFIED SURVEY MAP REVIEW

REVIEW: \$500.00 Deposit +/- Actual Cost

FOR OFFICE USE ONLY
DATE FILED: 2/9/17
RECEIVED BY: KA (Initials)
AMT. PAID: 500

APPLICANT: LYNCH VENTURES, LLC / KURT PETRUE
ADDRESS: 7300 BROWNS LAKE DR PHONE NO. 262-514-4000 FAX NO.
OWNER: LYNCH VENTURES, LLC
ADDRESS: 2300 BROWNS LAKE DR PHONE NO. 262-514-4000 FAX NO.
SITE ADDRESS: 180 INDUSTRIAL DR.
PROPOSED USE: MANUFACTURING
LEGAL DESCRIPTION: Lot 2 of CSM 3050 and Lot 10, Block 1 Burlington Industrial Complex Addition
LOCATION 1/4 of section NE 1/4 Sec 5, T 2 N, R 19 E, 2nd

CERTIFIED SURVEY MAP CHECKLIST
(PLEASE LIST ANY ADDITIONAL INFORMATION WHERE APPLICABLE):

- Subdivider is to submit 27 copies and one original certified survey map (CSM) with this application.
[X] Review fee must be submitted with application.
[X] Survey performed and map prepared by WI Registered Land Surveyor.
(Each Sheet (singled sided) must be signed, sealed and dated by the Surveyor.)

PARCEL LOCATION

- [X] Describe all monuments used for determining the location of the parcel and show by bearing and distance their relationship to the surveyed parcel and indicate whether such monuments were found or placed. (Including monuments from adjoining and section split.)
[X] The location of the certified survey map shall be indicated by bearing and distance from a boundary line of a quarter section, recorded private claim or federal reservation in which the subdivision is located. Include a north arrow on each sheet with details.

PREPARATION

Graphic scale of not more than 500 feet to an inch, which shall be shown on each sheet showing layout features.

When more than one sheet is used for any map, each sheet number shall be labeled as Sheet 1 of 3.

MAP AND ENGINEERING INFORMATION

The exterior boundaries of the land surveyed and divided must be clearly shown.

The Legend for monuments shall indicate the type, the outside diameter, length and weight per lineal foot of the monuments.

The length and bearing of the exterior boundaries, the boundary lines of all blocks, public grounds, streets and alleys, and all lot lines shall be shown. When the lines in any tier of lots are parallel the bearings of the outer lines on each tier may be sufficient.

Easements not parallel to a boundary or lot line shall be shown by centerline bearing and width or by easement boundary bearings and distances.

Abutting street and state highway lines of adjoining plats shall be shown in their proper location by dotted or dashed lines. The width of these streets and highways shall also be given.

All lots and outlots must be consecutively numbered and show the area in square feet for each lot.

The exact width of all easements, streets and alleys and the centerline of all streets shall be shown.

N/A The distances and bearings along all meander lines, and the distance to the ordinary high water mark at each lot line (must be greater than 20 feet) shall be shown.

When a street is on a circular curve, the main chords of the right-of-way lines shall be drawn as dotted or dashed lines in their proper places.

Curves shall show the radius, the central angle, chord bearing, the chord length and the arc length for each segment and the tangent bearing shall be shown for each end of the curve. TABLE Sheet 2

Property Owner:

Kirk Petric [Signature] Date: 2-8-17
Print Signature

Applicant:

Kirk Petric [Signature] Date: 2-8-17
Print Signature

Zoning Administrator: _____ Date: _____
Signature



collaborāte / formulāte / innovāte

MEMORANDUM

TO: Plan Commission
City of Burlington

Copies to: Carina Walters, City Administrator
Megan Watkins, Director of Administrative Services
Gregory Guidry, Building Inspector
Gregory Governatori, City Engineer, Kapur & Associates, Inc.
John Bjelajac, City Attorney
Kurt Petrie of Lynch Ventures LLC, Applicant

FROM: GRAEF
Kristian Vaughn
Tanya Fonseca, AICP

DATE: March 10, 2017

SUBJECT: Review of Certified Survey Map and Site Plan for LDV, Inc. Expansion at 180 Industrial Drive, Burlington, WI 53105

A. PURPOSE

- 1) Consider for approval a Certified Survey Map application from Kurt Petrie of Lynch Ventures, LLC to combine parcels 206-02-19-05-050-062 and 206-02-19-05-050-100 at 180 Industrial Drive, Burlington, WI 53105.
- 2) Consider for approval a Site Plan Approval Application from Kurt Petrie of Lynch Ventures, LLC to expand the LDV, Inc. production facility at 180 Industrial Drive, Burlington, WI 53105.

B. RECOMMENDATION

Based upon the review of the submitted materials, GRAEF recommends that the Plan Commission recommend to the Common Council the:

- a. **CONDITIONAL APPROVAL** of a Certified Survey Map application from Kurt Petrie of Lynch Ventures, LLC to combine parcels 206-02-19-05-050-062 and 206-02-19-05-050-100 at 180 Industrial Drive, Burlington, WI 53105 subject to the following recommendation:
 - (1) It is recommended that the requirements enumerated in §278-39(A)(5, 9, & 10) for certified survey maps – notably existing and proposed topographic contours, the location of soil boring testing locations, and the location of soil percolation testing locations – be waived.

- b. and, **CONDITIONAL APPROVAL** of a Site Plan Approval Application from Kurt Petrie of Lynch Ventures, LLC to expand the LDV, Inc. production facility at 180 Industrial Drive, Burlington, WI 53105 subject to the following recommendation:

- (1) It is recommended that, per the Applicant's need for efficient large truck traffic circulation on site, parking lot requirements in §315-48(D2, 5, & 6), (G), and (M) be waived.

C. BACKGROUND

Kurt Petrie of Lynch Ventures, LLC (Applicant) submitted a Certified Survey Map Review Application and a Site Plan Approval Application for the expansion of LDV, Inc.'s principal production facility in the Burlington Industrial Complex. The certified survey map proposes a land consolidation of parcels 206-02-19-05-050-062 and 206-02-19-05-050-100. The site plan and accompanying engineering and architectural drawings propose the construction of an expanded production facility for LDV, Inc. at its principal production facility on 180 Industrial Drive. LDV, Inc. operates multiple production facilities within the Burlington Industrial Complex across four parcels along Industrial Drive and Krift Avenue. Each of the parcels is zoned M-2 "General Manufacturing District." This project would link those production facilities through shared parking lots across parcel lines to facilitate the efficient movement and storage of its large trucks.

A similar expansion of LDV's production facilities occurred in 2012 when the metalworks facility was expanded and land consolidation took place on the then-existing Lots 6, 7, 8, and 9 of the Burlington Industrial Complex. A shared joint access easement was indicated on the certified survey map to share the parking lot between the metalworks building and the principal production facility on parcels 206-02-19-05-050-062 and 206-02-19-05-050-061. This current project will pursue a similar result to the south between the principal production facility and LDV's paint shop.

This project proposes to consolidate parcels 206-02-19-05-050-062 and 206-02-19-05-050-100 to allow for the expansion of LDV's principal production facility and parking lot. The parking lot reconfiguration and expansion will include: 1) the reconfiguration and landscaping of the main entrance for visitors with 11 parking spaces, 2) the connection of the northern parking to the proposed southern parking lot by an expanded access drive on the eastern side of the facility, 3) the expansion of employee parking fronting Krift Avenue with 120 parking spaces, 4) the expansion of large truck parking on the southeast side of the facility, 5) an addition of a driveway onto Krift Avenue, and 6) the connection of the proposed parking lot with LDV's paint shop parking lot on parcel 206-02-19-05-050-110. The principal production facility expansion will consist of 45,080 square feet of construction that will include: 1) 40,998 square feet of production floor area with an expanded parts department, locking dock, production space with vehicle bays, men's and women's lavatories, mechanical space, and two offices, 2) 1,752 square feet of second floor mezzanine storage, and 3) 2,330 square feet of additional office space in the existing production facility.

The Applicant submitted the following materials:

- a. Application for Certified Survey Map Review
- i. Application for Certified Survey Map Review form (2 sheets, as prepared by Kurt Petrie, dated February 8, 2017)

- ii. Certified Survey Map (3 sheets, as prepared by Kenneth B. Mehring, PLS, dated February 1, 2017)
- b. Site Plan Approval Application
 - i. Site Plan Approval Application form (2 sheets, as prepared by Kurt Petrie, dated January 16, 2017)
 - ii. Engineering Drawings – 22"x34" Set (11 sheets, as prepared by Lynch & Associates Engineering Consultants, LLC, dated December 28, 2016)
 - iii. Landscape Drawing – 22"x34" drawing (1 sheet, as prepared by Lynch & Associates Engineering Consultants, LLC, dated January 27, 2017)
 - iv. Architectural Drawings – 22"x34" Set (22 sheets, as prepared by Abacus Architects, dated January 27, 2017)
 - v. Building Renderings (2 sheets, as prepared by Abacus Architects, undated)

It is the understanding of GRAEF that reviews and comments on all engineering-related aspects of the site plan are to be accomplished by the City Engineer. Therefore GRAEF defers all engineering-related review and comment to the City Engineer.

E. COMPLIANCE WITH BURLINGTON ZONING CODE ARTICLE VI "CERTIFIED SURVEY MAP"

The use of a certified survey map to consolidate parcels 206-02-19-05-050-062 and 206-02-19-05-050-100 is appropriate pursuant to §315-140 "Land consolidation."

Certain characteristics of the property are required to appear on the certified survey map pursuant to §278-39. Requirements enumerated in Subsection A, Paragraphs 1-4 and 6-8, and Subsection B appear. The certified survey map is currently lacking the requirements enumerated in the following Paragraphs: (5) existing and proposed topographic contours, (9) location of soil boring testing locations, and (10) location of soil percolation testing locations.

It is recommended that the requirements enumerated in §278-39(A)(5, 9, & 10) be waived, as the site plan drawings contain topographic contours and the Applicant submitted soil conditions data as part of his engineering submittal. With the waiving of these requirements, the certified survey map is deemed compliant.

F. COMPLIANCE WITH BURLINGTON ZONING CODE §315-31 "M-2 GENERAL MANUFACTURING DISTRICT"

LDV's use of the property continues to be compliant with §315-31(A) as a large truck manufacturer and outfitter.

The proposed consolidated parcel is compliant with the minimum lot area and lot width in §315-31(D). The building footprint of the expanded production facility is compliant with the maximum building height and minimum building setback and yards in §315-31(E & F).

A lighting plan was not submitted with the project materials. During a pre-development meeting held between City staff and the Applicant on January 31, 2017, the Applicant stated that the project would not include exterior parking lot lighting. If lighting fixtures will be included on the exterior of the expanded facility, a lighting plan will be required pursuant to §315-31(H).

The proposed facility expansion is compliant with §315-31.

G. COMPLIANCE WITH BURLINGTON ZONING CODE §315-48 "PARKING REQUIREMENTS"

During the January 31 pre-development meeting, the Applicant indicated that the parking lot would be configured to meet the needs of its large truck traffic. These needs require a configuration that is not compliant with provisions in §315-48. To meet these needs, we are recommending that the following requirements be waived:

(D)(2) "Minimum required setbacks for off-street parking areas": As the Applicant owns all of the parcels included in the development project, the configuration proposed on Sheet C200 of the Engineering Drawings is acceptable to the Applicant with respect to the close proximity of the southern edge of the proposed parking lot to the northern property line of parcel 206-02-19-05-050-110.

(D)(5 & 6) Minimum Landscaping Requirements: The large trucks cannot easily maneuver around landscape islands. The parking lot was designed to be as unobstructed as possible.

(G) "Permanent marking of off-street parking stalls": The visitor and employee parking will be marked, whereas the large truck parking will not.

(M) "Minimum width of off-street parking rows and aisles": The visitor and employee parking is required to have a minimum aisle width of 25 feet. To facilitate the movement of large trucks by consolidating the employee parking lot, the aisle widths in the proposed parking lot will be acceptable at 20 feet.

Pursuant to Chapter 315 Table 5 "Off-Street Parking and On-Site Queuing Requirements for Use Types", LDV's operation as "Heavy industry" requires 2.5 parking spaces for every 1,000 square feet of floor area of the expanded production facility. Given the expanded floor area includes 45,080 square feet, 113 parking spaces would be required. The Site Plan proposes to construct 131. This amount of parking spaces is compliant. Additionally, the parking lot configuration is compliant with §315-48(H) "Parking spaces for use by persons with disabilities" and Chapter 315 Table 4 "Minimum Number of Accessible Parking Spaces." The Site Plan identifies and dimensions the five required accessible parking spaces with one being van-accessible and four being car-accessible.

The Site Plan is compliant with the remaining requirements in §315-48.

H. COMPLIANCE WITH BURLINGTON ZONING CODE §315-137 "SITE PLANS"

The principles and standards of site plan review enumerated in §315-137(B) were used to assess compliance with the requirements in (C) "Applications for site plan review." The Site Plan includes the required information and is compliant.

I. COMPLIANCE WITH BURLINGTON ZONING CODE §315-138 "LANDSCAPE PLANS"

Sheet L101 of the Engineering Drawings was submitted as the landscape plan and indicates the limited amount of landscaping that would take place on the project site. The landscape will be focused around the visitor traffic circle and the southwest side of the building. Sheet L101 is sufficient to determine the acceptability of the proposed landscaping.

To: Kristine Anderson **Date:** March 9, 2017
From: Greg Governatori
CC: Carina Walters, Gregory Guidry, Jim Bergles, Judy Gerulat, Tom Foht
Subject: LDV Expansion

BACKGROUND AND REQUEST: LDV, Inc. has submitted Revised final site plans for 180 Industrial Drive. The site plans propose a new 41,525 sf building addition, a new 6" water service, storm sewer system, and alterations to the existing parking layout. The parking alterations include pavement removal, new asphalt pavement and new internal concrete sidewalk. We have completed a review of the submitted materials for the LDV, addition. Our review was conducted to determine compliance with City ordinances and good engineering practices.

The following plans were submitted for review:

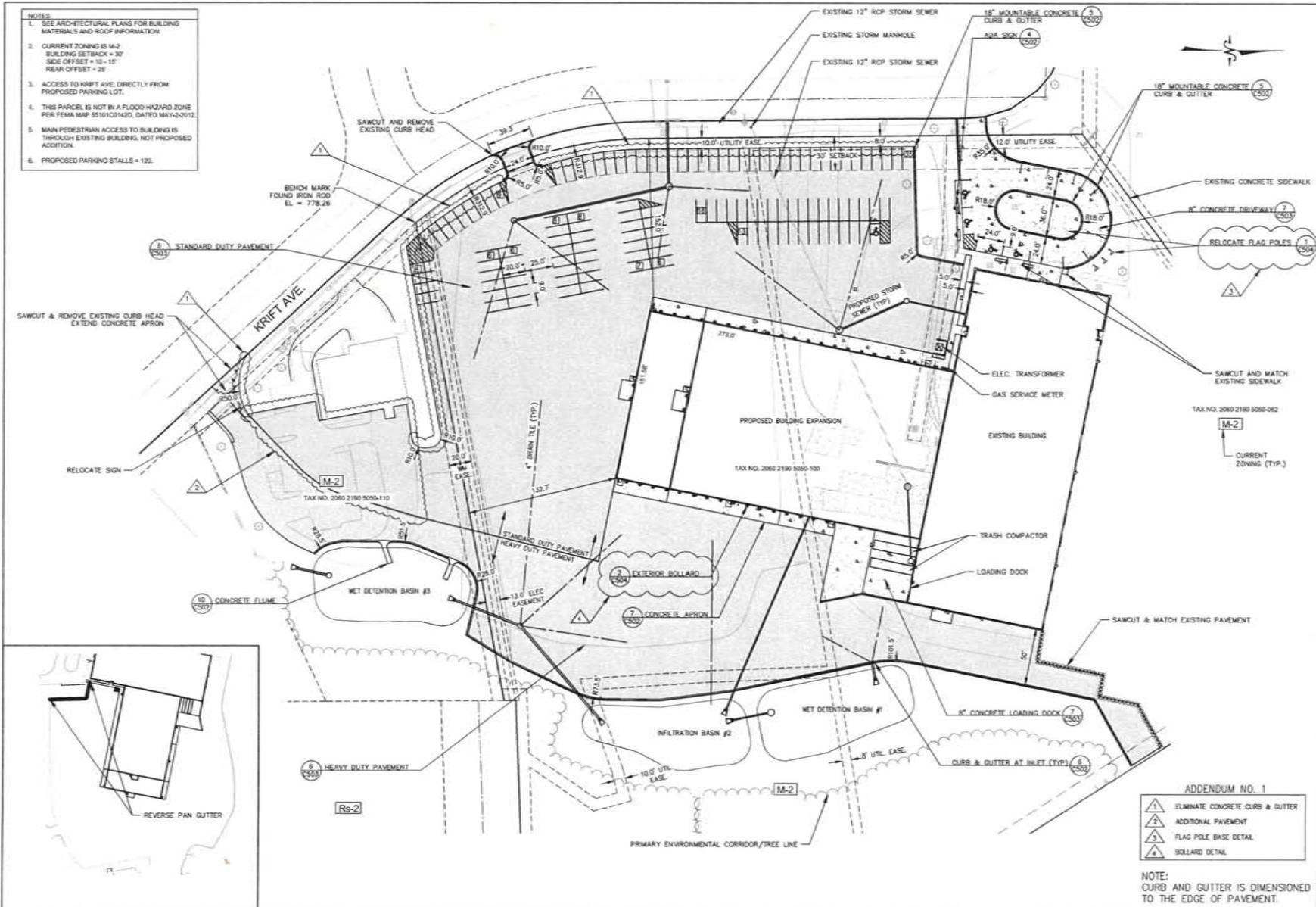
- Revised Site Plan Sheets, C001 through C503 dated February 14th, 2017
 - Addendum #1 Sheet C101, with revision March 3rd, 2017
 - Storm Water Management Plan, Revised February 9th, 2017
- The applicant shall obtain all necessary Local, and WDNR permits prior to construction.
 - The Storm Water Ponds and storm sewer are required to be certified by the owner prior to completion. The As-built Data shall be provided to the city in digital format for inclusion in the city-wide system mapping
 - The Storm Water Maintenance agreement (Appendix 6) of the storm water report shall be executed and recorded with the Racine county register of deeds prior to project completion.

Subject to the above conditions the applicant has satisfactory addressed the items as outlined in our January 25th, 2017 review memorandum.

RECOMMENDATION: We recommend approval of the subject of engineering plans for construction.

The plans have been reviewed for conformance with generally accepted engineering practices and City of Burlington policies. Although the material has been reviewed, the design engineer is ultimately responsible for the thoroughness and accuracy of the plans and supplemental data and for compliance with state, county, and other local ordinances and procedures.

Please contact me if you have any questions or comments pertaining to this project.



- NOTES:**
- SEE ARCHITECTURAL PLANS FOR BUILDING MATERIALS AND ROOF INFORMATION.
 - CURRENT ZONING IS M-2
BUILDING SETBACK = 30'
SIDE OFFSET = 10 - 15'
REAR OFFSET = 25'
 - ACCESS TO KRIFT AVE. DIRECTLY FROM PROPOSED PARKING LOT.
 - THIS PARCEL IS NOT IN A FLOOD HAZARD ZONE PER FEMA MAP 5516103143D, DATED MAY-2-2012.
 - MAIN PEDESTRIAN ACCESS TO BUILDING IS THROUGH EXISTING BUILDING, NOT PROPOSED ADDITION.
 - PROPOSED PARKING STALLS = 120.

SITE IMPROVEMENT PLANS FOR
LDV, INC. ADDITIONS & ALTERATIONS
 BURLINGTON, WISCONSIN
LYNCH & ASSOCIATES
 ENGINEERING CONSULTANTS, LLC

SITE PLAN
 REVISIONS:
 ADDENDUM NO. 1
 THD: 1
 DATE: DIV 03.03.17
 TAX NO. 2060 2190 5050-062
 M-2
 CURRENT ZONING (TYP.)

ISSUED FOR BID
 PLAN DATE: 02.14.17
 DESIGNED BY: TCL
 SCALE: 0" = 40'
 PROJECT NO.: 16-0035
 SHEET NO.:
C101

- ADDENDUM NO. 1**
- 1 ELIMINATE CONCRETE CURB & GUTTER
 - 2 ADDITIONAL PAVEMENT
 - 3 FLAG POLE BASE DETAIL
 - 4 BOLLARD DETAIL

NOTE:
 CURB AND GUTTER IS DIMENSIONED TO THE EDGE OF PAVEMENT.

CERTIFIED SURVEY MAP NO. _____

Lot 2 of Certified Survey Map No. 3050, as duly recorded in Racine County records as document no. 2311057 and Lot 10 in Block 1 of Burlington Industrial Complex Second Addition, as duly recorded in Racine County records in Volume 34 of plats on pages 13-15, located in the Northeast 1/4 and Southeast 1/4 of the Northeast 1/4 of Section 5, Town 2 North, Range 19 East, City of Burlington, Racine County, Wisconsin.

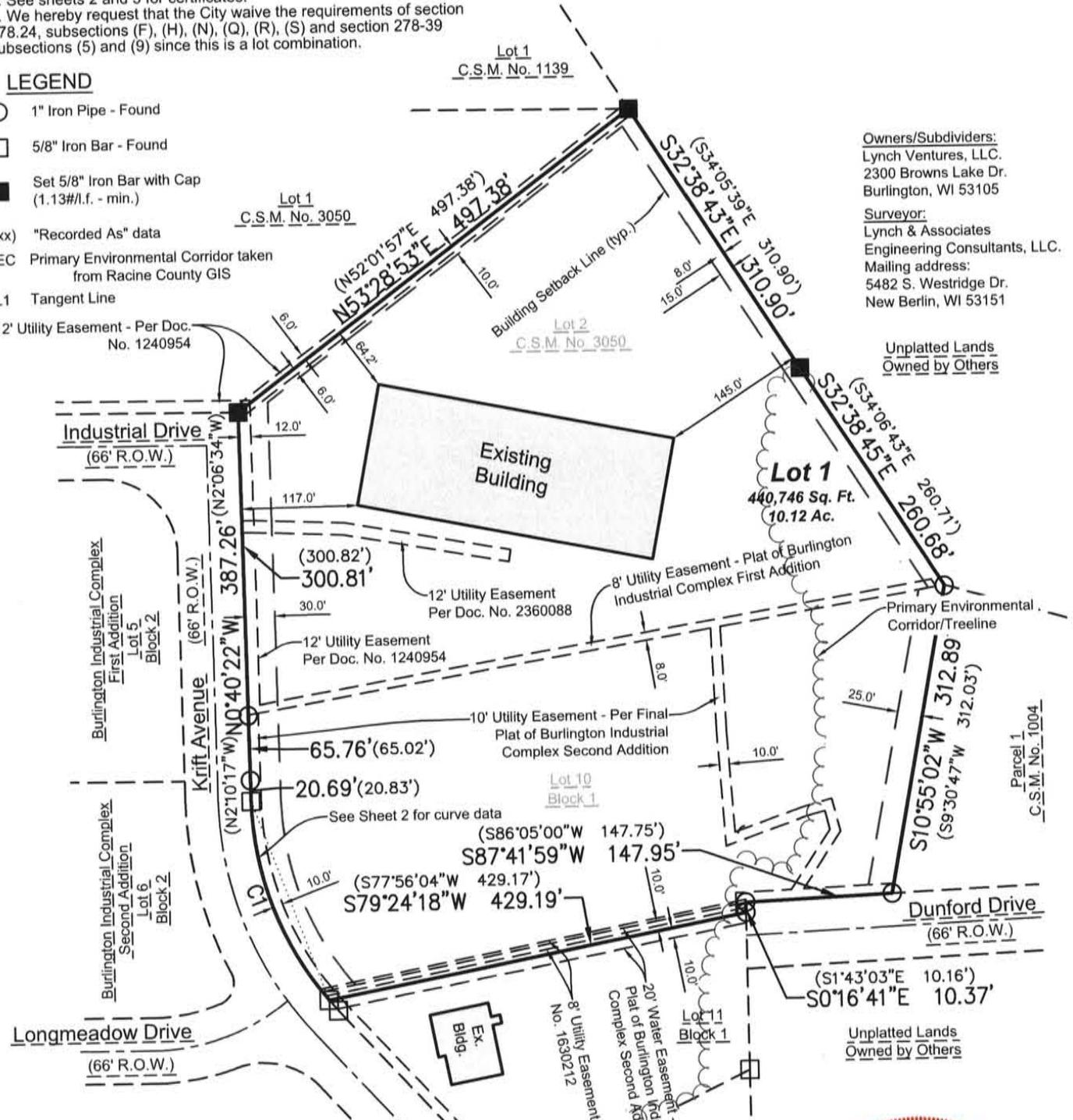
- NOTES:**
1. The Purpose of this Certified Survey Map is to combine two platted lots into one parcel.
 2. See sheets 2 and 3 for certificates.
 3. We hereby request that the City waive the requirements of section 278.24, subsections (F), (H), (N), (Q), (R), (S) and section 278-39 subsections (5) and (9) since this is a lot combination.

LEGEND

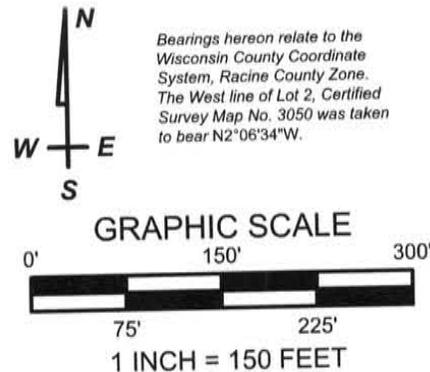
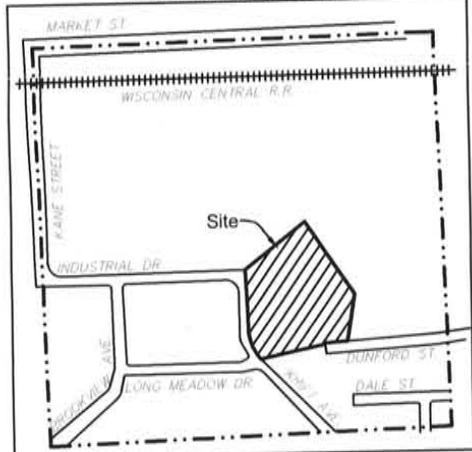
- 1" Iron Pipe - Found
- 5/8" Iron Bar - Found
- Set 5/8" Iron Bar with Cap (1.13#/l.f. - min.)
- (xxx) "Recorded As" data
- PEC Primary Environmental Corridor taken from Racine County GIS
- L1 Tangent Line
- 12' Utility Easement - Per Doc. No. 1240954

Owners/Subdividers:
Lynch Ventures, LLC.
2300 Browns Lake Dr.
Burlington, WI 53105

Surveyor:
Lynch & Associates
Engineering Consultants, LLC.
Mailing address:
5482 S. Westridge Dr.
New Berlin, WI 53151



LOCATION MAP
NE 1/4 of Sec. 5, T.2N., R.19E.



Bearings hereon relate to the Wisconsin County Coordinate System, Racine County Zone. The West line of Lot 2, Certified Survey Map No. 3050 was taken to bear N2°06'34"W.

DATE 2/1/2017
SHEET 1 OF 3
JOB#16-0035

CERTIFIED SURVEY MAP NO. _____

Lot 2 of Certified Survey Map No. 3050, as duly recorded in Racine County records as document no. 2311057 and Lot 10 in Block 1 of Burlington Industrial Complex Second Addition, as duly recorded in Racine County records in Volume 34 of plats on pages 13-15, located in the Northeast 1/4 and Southeast 1/4 of the Northeast 1/4 of Section 5, Town 2 North, Range 19 East, City of Burlington, Racine County, Wisconsin.

SURVEYOR'S CERTIFICATE:

I, KENNETH B. MEHRING, PROFESSIONAL LAND SURVEYOR, HEREBY CERTIFY THAT I HAVE SURVEYED, DIVIDED AND MAPPED THE FOLLOWING LAND HEREIN DESCRIBED:

Lot 2 of Certified Survey Map No. 3050, as duly recorded in Racine County records as document no. 2311057 and Lot 10 in Block 1 of Burlington Industrial Complex Second Addition, as duly recorded in Racine County records in Volume 34 of plats on pages 13-15, located in the Northeast 1/4 and Southeast 1/4 of the Northeast 1/4 of Section 5, Town 2 North, Range 19 East, City of Burlington, Racine County, Wisconsin.

I FURTHER CERTIFY THAT I HAVE MADE SAID LAND DIVISION BY THE DIRECTION OF LYNCH VENTURES, LLC., OWNER(S) OF SAID LAND. THAT SUCH LAND DIVISION IS A CORRECT REPRESENTATION OF ALL THE EXTERIOR BOUNDARIES OF THE LANDS SURVEYED AND THE DIVISION THEREOF.

THAT I HAVE FULLY COMPLIED WITH THE PROVISIONS OF CHAPTER 236 OF THE WISCONSIN STATUTES AND THE LAND DIVISION ORDINANCES OF THE CITY OF BURLINGTON IN SURVEYING, DIVIDING AND MAPPING THE SAME.

DATED THIS 1st DAY OF February, 2017.


KENNETH B. MEHRING
PROFESSIONAL LAND SURVEYOR



CURVE DATA

C1
Arc Length= 218.22' (217.99')
Radius= 316.78'
Delta= 39°28'10" (39°25'40")
Chord Length= 213.93' (213.71')
Chord Bearing= N20°24'27"W (N21°53'07"W)
Tan. In= N40°08'32"W
Tan Out= N0°40'22"W

CERTIFICATE OF PLAN COMMISSION APPROVAL:

APPROVED BY THE PLAN COMMISSION OF THE CITY OF BURLINGTON

ON THIS _____ DAY OF _____, 2017.

JEANNIE HEFTY
MAYOR

DIAHNN HALBACH
CITY CLERK

CERTIFICATE OF COMMON COUNCIL APPROVAL:

APPROVED BY THE COMMON COUNCIL OF THE CITY OF BURLINGTON

ON THIS _____ DAY OF _____, 2017.

JEANNIE HEFTY
MAYOR

DIAHNN HALBACH
CITY CLERK

DATE 2/1/2017
SHEET 2 OF 3
JOB#16-0035

CERTIFIED SURVEY MAP NO. _____

Lot 2 of Certified Survey Map No. 3050, as duly recorded in Racine County records as document no. 2311057 and Lot 10 in Block 1 of Burlington Industrial Complex Second Addition, as duly recorded in Racine County records in Volume 34 of plats on pages 13-15, located in the Northeast 1/4 and Southeast 1/4 of the Northeast 1/4 of Section 5, Town 2 North, Range 19 East, City of Burlington, Racine County, Wisconsin.

CORPORATE OWNER'S CERTIFICATE

AS OWNERS, WE, LYNCH VENTURES, LLC., HEREBY CERTIFY THAT WE HAVE CAUSED THE LAND DESCRIBED ON THIS CERTIFIED SURVEY MAP TO BE SURVEYED, DIVIDED, AND MAPPED AS REPRESENTED ON THIS MAP.

AS OWNER(S), WE, FURTHER CERTIFY THAT THIS PLAT IS REQUIRED BY S.236.10 OR S.236.12 TO BE SUBMITTED TO THE FOLLOWING FOR APPROVAL OR OBJECTION:

1.) THE CITY OF BURLINGTON

DATED THIS _____ DAY OF _____, 2017.

NAME: _____ TITLE: _____ NAME: _____ TITLE: _____

**STATE OF WISCONSIN) ss
COUNTY OF _____)**

PERSONALLY CAME BEFORE ME THIS _____ DAY OF _____, 2017

THE ABOVE NAMED _____, TO ME KNOWN TO BE THE PERSONS WHO EXECUTED THE FOREGOING INSTRUMENT AND ACKNOWLEDGED THE SAME.

NOTARY PUBLIC
MY COMMISSION EXPIRES: _____

CONSENT OF CORPORATE MORTGAGEE

_____, A CORPORATION DULY ORGANIZED AND EXISTING UNDER AND BY VIRTUE OF THE LAWS OF THE STATE OF _____, MORTGAGEE OF THE ABOVE DESCRIBED LAND, DOES HEREBY CONSENT TO THE SURVEYING, DIVIDING, AND MAPPING OF THE LAND DESCRIBED ON THIS MAP, AND DOES HEREBY CONSENT TO THE ABOVE CERTIFICATE OF LYNCH VENTURES, LLC., OWNERS.

IN WITNESS WHEREOF, THE SAID _____ HAS CAUSED THESE PRESENTS TO BE SIGNED AND IT'S CORPORATE SEAL TO BE HEREUNTO AFFIXED

THIS _____ DAY OF _____, 2017.

NAME: _____ TITLE: _____ NAME: _____ TITLE: _____

**STATE OF _____) ss
COUNTY OF _____)**

PERSONALLY CAME BEFORE ME THIS _____ DAY OF _____, 2017

THE ABOVE NAMED _____, TO ME KNOWN TO BE THE PERSONS WHO EXECUTED THE FOREGOING INSTRUMENT AND ACKNOWLEDGED THE SAME.

NOTARY PUBLIC
MY COMMISSION EXPIRES: _____



DATE 2/1/2017
SHEET 3 OF 3
JOB#16-0035



PLAN COMMISSION

ITEM NUMBER: 8C

DATE: March 14, 2017

SUBJECT: Consideration to approve a Site Plan application at 180 Industrial Drive.

SUBMITTED BY: Gregory Guidry, Building Inspector and Zoning Administrator

PROJECT/SCOPE:

This item is to consider approving a Site Plan application from Kurt Petrie for property located at 180 Industrial Drive. The applicant is proposing to allow for the expansion of Lynch Display Van's principal production facility and parking lot. The principal production facility expansion will consist of approximately 45,080 square feet of construction for offices, storage areas and vehicle bays. This project would link those production facilities through shared parking lots across parcel lines to facilitate the efficient movement and storage of its large trucks. The expansion of the parking lot will include landscaping of the main entrance for visitors with 12 parking spaces, the expansion of employee parking fronting Krift Avenue with 120 parking space, the expansion of large truck parking on the southeast side of the facility and an addition of a driveway onto Krift Avenue.

ZONING:

The parcel is zoned M-2, General Manufacturing.

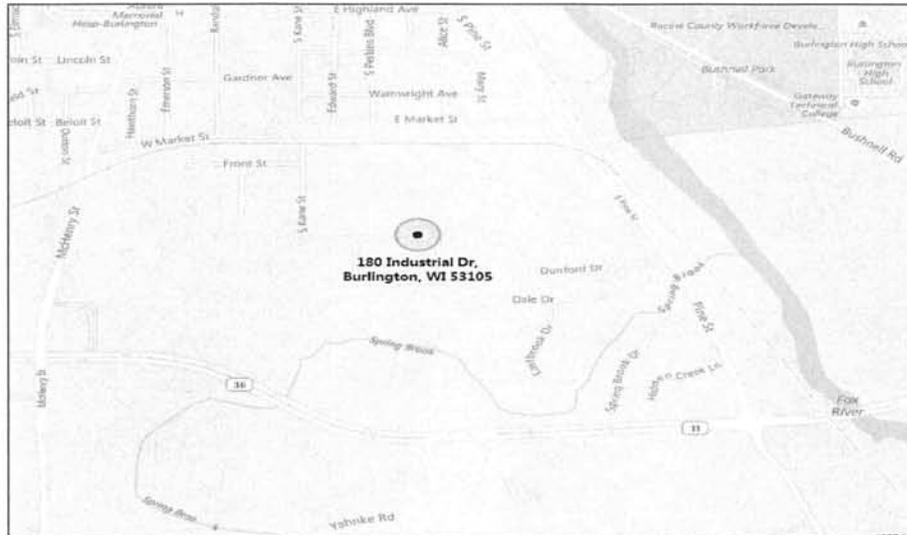
RECOMMENDATION:

Graef and Kapur & Associates recommend a conditional approval of this Site Plan, subject to items listed in their March 10, 2017 memorandums.

TIMING/IMPLEMENTATION:

This item is for consideration at the March 14, 2017 Plan Commission meeting. No further action is necessary.

MAP:





One Honey Creek Corporate Center
125 South 84th Street, Suite 401
Milwaukee, WI 53214-1470
414 / 259 1500
414 / 259 0037 fax
www.graef-usa.com

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MEMORANDUM

TO: Plan Commission
City of Burlington

Copies to: Carina Walters, City Administrator
Megan Watkins, Director of Administrative Services
Gregory Guidry, Building Inspector
Gregory Governatori, City Engineer, Kapur & Associates, Inc.
John Bjelajac, City Attorney
Kurt Petrie of Lynch Ventures LLC, Applicant

FROM: GRAEF
Kristian Vaughn
Tanya Fonseca, AICP

DATE: March 10, 2017

SUBJECT: Review of Certified Survey Map and Site Plan for LDV, Inc. Expansion at 180 Industrial Drive, Burlington, WI 53105

A. PURPOSE

- 1) Consider for approval a Certified Survey Map application from Kurt Petrie of Lynch Ventures, LLC to combine parcels 206-02-19-05-050-062 and 206-02-19-05-050-100 at 180 Industrial Drive, Burlington, WI 53105.
- 2) Consider for approval a Site Plan Approval Application from Kurt Petrie of Lynch Ventures, LLC to expand the LDV, Inc. production facility at 180 Industrial Drive, Burlington, WI 53105.

B. RECOMMENDATION

Based upon the review of the submitted materials, GRAEF recommends that the Plan Commission recommend to the Common Council the:

- a. **CONDITIONAL APPROVAL** of a Certified Survey Map application from Kurt Petrie of Lynch Ventures, LLC to combine parcels 206-02-19-05-050-062 and 206-02-19-05-050-100 at 180 Industrial Drive, Burlington, WI 53105 subject to the following recommendation:
 - (1) It is recommended that the requirements enumerated in §278-39(A)(5, 9, & 10) for certified survey maps – notably existing and proposed topographic contours, the location of soil boring testing locations, and the location of soil percolation testing locations – be waived.

- b. and, **CONDITIONAL APPROVAL** of a Site Plan Approval Application from Kurt Petrie of Lynch Ventures, LLC to expand the LDV, Inc. production facility at 180 Industrial Drive, Burlington, WI 53105 subject to the following recommendation:
- (1) It is recommended that, per the Applicant's need for efficient large truck traffic circulation on site, parking lot requirements in §315-48(D2, 5, & 6), (G), and (M) be waived.

C. BACKGROUND

Kurt Petrie of Lynch Ventures, LLC (Applicant) submitted a Certified Survey Map Review Application and a Site Plan Approval Application for the expansion of LDV, Inc.'s principal production facility in the Burlington Industrial Complex. The certified survey map proposes a land consolidation of parcels 206-02-19-05-050-062 and 206-02-19-05-050-100. The site plan and accompanying engineering and architectural drawings propose the construction of an expanded production facility for LDV, Inc. at its principal production facility on 180 Industrial Drive. LDV, Inc. operates multiple production facilities within the Burlington Industrial Complex across four parcels along Industrial Drive and Krift Avenue. Each of the parcels is zoned M-2 "General Manufacturing District." This project would link those production facilities through shared parking lots across parcel lines to facilitate the efficient movement and storage of its large trucks.

A similar expansion of LDV's production facilities occurred in 2012 when the metalworks facility was expanded and land consolidation took place on the then-existing Lots 6, 7, 8, and 9 of the Burlington Industrial Complex. A shared joint access easement was indicated on the certified survey map to share the parking lot between the metalworks building and the principal production facility on parcels 206-02-19-05-050-062 and 206-02-19-05-050-061. This current project will pursue a similar result to the south between the principal production facility and LDV's paint shop.

This project proposes to consolidate parcels 206-02-19-05-050-062 and 206-02-19-05-050-100 to allow for the expansion of LDV's principal production facility and parking lot. The parking lot reconfiguration and expansion will include: 1) the reconfiguration and landscaping of the main entrance for visitors with 11 parking spaces, 2) the connection of the northern parking to the proposed southern parking lot by an expanded access drive on the eastern side of the facility, 3) the expansion of employee parking fronting Krift Avenue with 120 parking spaces, 4) the expansion of large truck parking on the southeast side of the facility, 5) an addition of a driveway onto Krift Avenue, and 6) the connection of the proposed parking lot with LDV's paint shop parking lot on parcel 206-02-19-05-050-110. The principal production facility expansion will consist of 45,080 square feet of construction that will include: 1) 40,998 square feet of production floor area with an expanded parts department, locking dock, production space with vehicle bays, men's and women's lavatories, mechanical space, and two offices, 2) 1,752 square feet of second floor mezzanine storage, and 3) 2,330 square feet of additional office space in the existing production facility.

The Applicant submitted the following materials:

- a. Application for Certified Survey Map Review
- i. Application for Certified Survey Map Review form (2 sheets, as prepared by Kurt Petrie, dated February 8, 2017)

- ii. Certified Survey Map (3 sheets, as prepared by Kenneth B. Mehring, PLS, dated February 1, 2017)
- b. Site Plan Approval Application
 - i. Site Plan Approval Application form (2 sheets, as prepared by Kurt Petrie, dated January 16, 2017)
 - ii. Engineering Drawings – 22"x34" Set (11 sheets, as prepared by Lynch & Associates Engineering Consultants, LLC, dated December 28, 2016)
 - iii. Landscape Drawing – 22"x34" drawing (1 sheet, as prepared by Lynch & Associates Engineering Consultants, LLC, dated January 27, 2017)
 - iv. Architectural Drawings – 22"x34" Set (22 sheets, as prepared by Abacus Architects, dated January 27, 2017)
 - v. Building Renderings (2 sheets, as prepared by Abacus Architects, undated)

It is the understanding of GRAEF that reviews and comments on all engineering-related aspects of the site plan are to be accomplished by the City Engineer. Therefore GRAEF defers all engineering-related review and comment to the City Engineer.

E. COMPLIANCE WITH BURLINGTON ZONING CODE ARTICLE VI "CERTIFIED SURVEY MAP"

The use of a certified survey map to consolidate parcels 206-02-19-05-050-062 and 206-02-19-05-050-100 is appropriate pursuant to §315-140 "Land consolidation."

Certain characteristics of the property are required to appear on the certified survey map pursuant to §278-39. Requirements enumerated in Subsection A, Paragraphs 1-4 and 6-8, and Subsection B appear. The certified survey map is currently lacking the requirements enumerated in the following Paragraphs: (5) existing and proposed topographic contours, (9) location of soil boring testing locations, and (10) location of soil percolation testing locations.

It is recommended that the requirements enumerated in §278-39(A)(5, 9, & 10) be waived, as the site plan drawings contain topographic contours and the Applicant submitted soil conditions data as part of his engineering submittal. With the waiving of these requirements, the certified survey map is deemed compliant.

F. COMPLIANCE WITH BURLINGTON ZONING CODE §315-31 "M-2 GENERAL MANUFACTURING DISTRICT"

LDV's use of the property continues to be compliant with §315-31(A) as a large truck manufacturer and outfitter.

The proposed consolidated parcel is compliant with the minimum lot area and lot width in §315-31(D). The building footprint of the expanded production facility is compliant with the maximum building height and minimum building setback and yards in §315-31(E & F).

A lighting plan was not submitted with the project materials. During a pre-development meeting held between City staff and the Applicant on January 31, 2017, the Applicant stated that the project would not include exterior parking lot lighting. If lighting fixtures will be included on the exterior of the expanded facility, a lighting plan will be required pursuant to §315-31(H).

The proposed facility expansion is compliant with §315-31.

G. COMPLIANCE WITH BURLINGTON ZONING CODE §315-48 "PARKING REQUIREMENTS"

During the January 31 pre-development meeting, the Applicant indicated that the parking lot would be configured to meet the needs of its large truck traffic. These needs require a configuration that is not compliant with provisions in §315-48. To meet these needs, we are recommending that the following requirements be waived:

(D)(2) "Minimum required setbacks for off-street parking areas": As the Applicant owns all of the parcels included in the development project, the configuration proposed on Sheet C200 of the Engineering Drawings is acceptable to the Applicant with respect to the close proximity of the southern edge of the proposed parking lot to the northern property line of parcel 206-02-19-05-050-110.

(D)(5 & 6) Minimum Landscaping Requirements: The large trucks cannot easily maneuver around landscape islands. The parking lot was designed to be as unobstructed as possible.

(G) "Permanent marking of off-street parking stalls": The visitor and employee parking will be marked, whereas the large truck parking will not.

(M) "Minimum width of off-street parking rows and aisles": The visitor and employee parking is required to have a minimum aisle width of 25 feet. To facilitate the movement of large trucks by consolidating the employee parking lot, the aisle widths in the proposed parking lot will be acceptable at 20 feet.

Pursuant to Chapter 315 Table 5 "Off-Street Parking and On-Site Queuing Requirements for Use Types", LDV's operation as "Heavy industry" requires 2.5 parking spaces for every 1,000 square feet of floor area of the expanded production facility. Given the expanded floor area includes 45,080 square feet, 113 parking spaces would be required. The Site Plan proposes to construct 131. This amount of parking spaces is compliant. Additionally, the parking lot configuration is compliant with §315-48(H) "Parking spaces for use by persons with disabilities" and Chapter 315 Table 4 "Minimum Number of Accessible Parking Spaces." The Site Plan identifies and dimensions the five required accessible parking spaces with one being van-accessible and four being car-accessible.

The Site Plan is compliant with the remaining requirements in §315-48.



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H. COMPLIANCE WITH BURLINGTON ZONING CODE §315-137 "SITE PLANS"

The principles and standards of site plan review enumerated in §315-137(B) were used to assess compliance with the requirements in (C) "Applications for site plan review." The Site Plan includes the required information and is compliant.

I. COMPLIANCE WITH BURLINGTON ZONING CODE §315-138 "LANDSCAPE PLANS"

Sheet L101 of the Engineering Drawings was submitted as the landscape plan and indicates the limited amount of landscaping that would take place on the project site. The landscape will be focused around the visitor traffic circle and the southwest side of the building. Sheet L101 is sufficient to determine the acceptability of the proposed landscaping.



To: Kristine Anderson **Date:** March 9, 2017
From: Greg Governatori
CC: Carina Walters, Gregory Guidry, Jim Bergles, Judy Gerulat, Tom Foht
Subject: LDV Expansion

BACKGROUND AND REQUEST: LDV, Inc. has submitted Revised final site plans for 180 Industrial Drive. The site plans propose a new 41,525 sf building addition, a new 6" water service, storm sewer system, and alterations to the existing parking layout. The parking alterations include pavement removal, new asphalt pavement and new internal concrete sidewalk. We have completed a review of the submitted materials for the LDV, addition. Our review was conducted to determine compliance with City ordinances and good engineering practices.

The following plans were submitted for review:

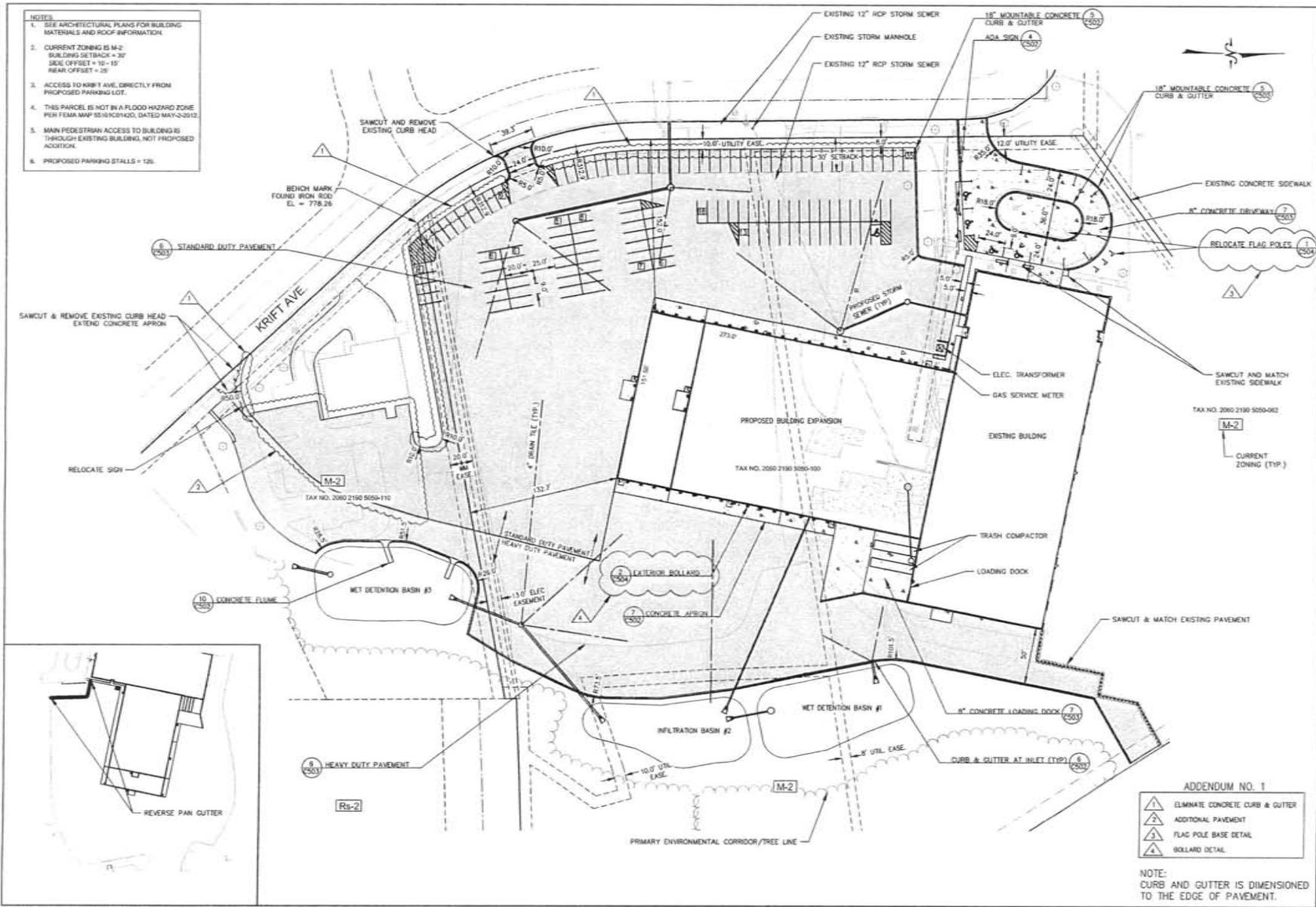
- Revised Site Plan Sheets, C001 through C503 dated February 14th, 2017
 - Addendum #1 Sheet C101, with revision March 3rd, 2017
 - Storm Water Management Plan, Revised February 9th, 2017
- The applicant shall obtain all necessary Local, and WDNR permits prior to construction.
 - The Storm Water Ponds and storm sewer are required to be certified by the owner prior to completion. The As-built Data shall be provided to the city in digital format for inclusion in the city-wide system mapping
 - The Storm Water Maintenance agreement (Appendix 6) of the storm water report shall be executed and recorded with the Racine county register of deeds prior to project completion.

Subject to the above conditions the applicant has satisfactory addressed the items as outlined in our January 25th, 2017 review memorandum.

RECOMMENDATION: We recommend approval of the subject of engineering plans for construction.

The plans have been reviewed for conformance with generally accepted engineering practices and City of Burlington policies. Although the material has been reviewed, the design engineer is ultimately responsible for the thoroughness and accuracy of the plans and supplemental data and for compliance with state, county, and other local ordinances and procedures.

Please contact me if you have any questions or comments pertaining to this project.



- NOTES:**
1. SEE ARCHITECTURAL PLANS FOR BUILDING MATERIALS AND ROOF INFORMATION.
 2. CURRENT ZONING IS M-2
BUILDING SETBACK = 30'
SIDE OFFSET = 10'-10"
REAR OFFSET = 25'
 3. ACCESS TO KRIFF AVE, DIRECTLY FROM PROPOSED PARKING LOT.
 4. THIS PARCEL IS NOT IN A FLOOD HAZARD ZONE PER FEMA MAP 55103K0140D, DATED MAY-2-2012.
 5. MAIN PEDESTRIAN ACCESS TO BUILDING IS THROUGH EXISTING BUILDING, NOT PROPOSED ADDITION.
 6. PROPOSED PARKING STALLS = 126.

SITE IMPROVEMENT PLANS FOR
LDV, INC. ADDITIONS & ALTERATIONS
 BURLINGTON, WISCONSIN

LYNCH & ASSOCIATES
 ENGINEERING CONSULTANTS, LLC

SITE PLAN
 REVISIONS: ADDENDUM NO. 1
 DATE: 03.03.17

ISSUED FOR BID
 PLAN DATE: 02.14.17
 DESIGNED BY: TCL
 SCALE: 1"=40'
 PROJECT NO.: 16-0035
 SHEET NO.: C101

- ADDENDUM NO. 1**
- ▲ ELIMINATE CONCRETE CURB & GUTTER
 - ▲ ADDITIONAL PAVEMENT
 - ▲ FLAG POLE BASE DETAIL
 - ▲ BOLLARD DETAIL

NOTE:
 CURB AND GUTTER IS DIMENSIONED TO THE EDGE OF PAVEMENT.



Building & Zoning Department
300 N. Pine Street, Burlington, WI, 53105
(262) 342-1163 - (262) 763-3474 fax
www.burlington-wi.gov

SITE PLAN APPROVAL APPLICATION

REVIEW: \$500.00 Deposit +/- Actual Cost

| | |
|----------------------------|-------------------------|
| FOR OFFICE USE ONLY | |
| DATE FILED: | <u>1/17/17</u> |
| RECEIVED BY: | <u>KA</u> (Initials) |
| AMT. PAID: | <u>\$500-</u> |

APPLICANT: KURT PETRIE

ADDRESS: 180 INDUSTRIAL DRIVE PHONE NO. 262-514-4000 FAX NO. _____

OWNER: LYNCH VENTURES LLC

ADDRESS: 2300 BROWNS LAKE DR. PHONE NO. 262-514-4000 FAX NO. _____

SITE ADDRESS: 180 INDUSTRIAL DR.

PROPOSED USE: MANUFACTURING PRESENT ZONING: M-2

LEGAL DESCRIPTION: PART OF NE 1/4 BURLINGTON INDUSTRIAL COMPLEX
(Attach full legal description if needed) 2ND ADDITION, LOT 10, BLOCK I

**THE SITE PLAN MUST INCLUDE THE FOLLOWING INFORMATION
(PLEASE LIST ANY ADDITIONAL INFORMATION WHERE APPLICABLE):**

- Site plan drawn to a recognized engineering or architectural scale with graphic scale, shown as well as the date of drawing and the north arrow shown.
- Project title and owner's/developer's name and address noted.
- Architect's and/or engineer's name and address noted. TITLE SHEET
- Property boundaries and dimensions. OWNER OWNS BOTH ADJACENT LOTS
- Abutting property zoning classifications.
- General description of building materials, façade and roof detail. SEE ARCHITECTURAL PLANS
- Setback lines indicated.
- Easements for access, if any.
- N/A 100-year floodplain identification. NOTE 5.
- Existing and proposed topography show at a contour interval of not less than two feet, indicating proposed grade and location of improvements.
- N/A Signage and outdoor lighting – proposed location and details.
- Total number of employees: _____ and Hours of operation _____.

- Total no. of parking spaced noted. No. of parking spaces provided: 120. Calculations used to arrive at the no. of spaces: _____.
- Type, size and location of all structures with all building dimensions shown.
- Locate existing and general location of proposed sanitary sewers, storm sewers and watermains.
- Locate any proposed stormwater management facilities, including detention/retention areas. The City of Burlington has a stormwater ordinance in effect.
- N/A Note location, extent and type of proposed landscaping and landscaping plantings and buffers to adjacent property, including fencing or other screening.
- Note, location of pedestrian sidewalks and walkways. NOTE 6
- N/A Graphic outline of any development staging that is planned.
- Driveway locations and sizes.
- Handicap accessibility.
- N/A List environmental concerns, i.e. odor, smoke, noise.

Owner: KURT PETRIE
(Print)

Date: 1-16-17

Owner: 
(Signature)

Applicant: KURT PETRIE
(Print)

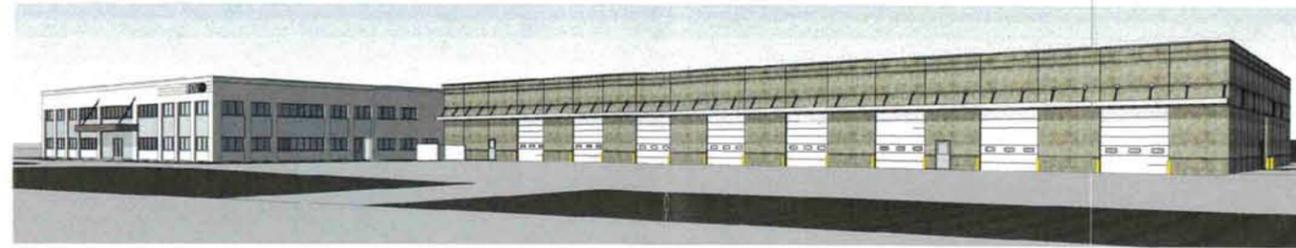
Date: 1-16-17

Applicant: 
(Signature)

Zoning Administrator: _____
(Signature)

Date: _____

ADDITION & ALTERATIONS
LDV, INC.
 BURLINGTON, WISCONSIN



PROJECT NOTES

EXTENT OF WORK
 THE INTENT OF THE CONTRACT DOCUMENTS IS TO INCLUDE ALL ITEMS NECESSARY FOR THE PROPER EXECUTION AND COMPLETION OF THE WORK BY THE CONTRACTOR. PERFORMANCE BY THE CONTRACTOR SHALL BE REQUIRED TO THE EXTENT CONSISTENT WITH THE CONTRACT DOCUMENTS AND REASONABLY INFERRABLE FROM THEM AS BEING NECESSARY TO PRODUCE THE INTENDED RESULTS.

SITE VISIT
 THE CONTRACTOR SHALL VISIT THE SITE, BECOME FAMILIAR WITH LOCAL CONDITIONS UNDER WHICH THE WORK IS TO BE PERFORMED AND CORRELATE PERSONAL OBSERVATIONS WITH REQUIREMENTS OF THE CONTRACT DOCUMENTS.

NOTICE TO BIDDERS
 BIDDERS SHALL REVIEW ALL DRAWINGS AND ALL SPECIFICATION SECTIONS TO DETERMINE THE IMPACT OF OTHER SECTIONS OF WORK ON THEIR OWN WORK.

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REVISIONS:

NOTICE TO BIDDERS
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| CIVIL | ARCHITECTURAL | STRUCTURAL | PLUMBING | H.V.A.C. | ELECTRICAL | PROJECT INFORMATION | | | | | | | | | | | | | | | | | | | | | | | | |
|--|--|--|---|---|--|---|-------|------|-------------------------|---------------------|--|--|-----|---------------------|-----|-----|------------------|-----|---|--------------------|----|----------------------|--|--|---|--------------------|----|-----------------------------|--|-----|
| LYNCH & ASSOCIATES 5482 S. WESTRIDGE DRIVE NEW BERLIN, WI 53151 PHONE: 262-402-5040 FAX: 262-402-5046 | ABACUS ARCHITECTS, INC. 225 EAST ST. PAUL AVENUE MILWAUKEE, WISCONSIN 53292 PHONE: 414-837-6150 | PIERCE ENGINEERS, INC. 181 N. BROADWAY MILWAUKEE, WI 53202 PHONE: 414-278-6060 FAX: 414-278-6061 | IBC ENGINEERING SERVICES, INC. N8 W22195 JOHNSON DRIVE, SUITE 180 WAUKESHA, WI 53186 PHONE: 262-549-1190 FAX: 262-549-1620 | IBC ENGINEERING SERVICES, INC. N8 W22195 JOHNSON DRIVE, SUITE 180 WAUKESHA, WI 53186 PHONE: 262-549-1190 FAX: 262-549-1620 | IBC ENGINEERING SERVICES, INC. N8 W22195 JOHNSON DRIVE, SUITE 180 WAUKESHA, WI 53186 PHONE: 262-549-1190 FAX: 262-549-1620 | <p>APPLICABLE BUILDING CODES 2011 WISCONSIN COMMERCIAL BUILDING CODE (2009 IBC) 2009 INTERNATIONAL EXISTING BUILDING CODE</p> <p>BUILDING AREA EXISTING BUILDING AREA: FIRST FLOOR AREA 36,060 S.F. SECOND FLOOR AREA 6,176 S.F. EXISTING BUILDING MODIFICATION: SECOND FLOOR AREA (ALT #2) 2,330 S.F.</p> <p>BUILDING ADDITION AREA: FIRST FLOOR AREA 33,775 S.F. SECOND FLOOR AREA (ALT #1) 7,223 S.F.</p> <p>CONSTRUCTION CLASSIFICATION TYPE VB CONSTRUCTION (W.C.B.C. SECTION 602.5)</p> <p>OCCUPANCY CLASSIFICATION NON-SEPARATED MIXED USE (W.C.B.C. SECTION 508.3)</p> <p>USE GROUPS PRESENT IN THE BUILDING INCLUDE: BUSINESS GROUP "B" (W.C.B.C. SECTION 304) FACTORY INDUSTRIAL GROUP "F-1" MODERATE HAZARD (W.C.B.C. SECTION 306.2)</p> <p>FIRE PROTECTION BUILDING IS FULLY PROTECTED WITH AN AUTOMATIC SPRINKLER SYSTEM PER NFPA 13.</p> <p>ALLOWABLE HEIGHT AND AREA UNLIMITED AREA (W.C.B.C. SECTION 507.4) ALLOWABLE HEIGHT = 2 STORIES</p> <p>BUILDING HEIGHT (ACTUAL) = 2 STORIES / 25 FT. BUILDING AREA (ACTUAL INCLUSIVE OF ALTERNATES) = 77,058 SQ. FT.</p> <p>EXIT DISTANCE EXIT ACCESS TRAVEL DISTANCE - WITH AUTOMATIC SPRINKLER SYSTEM (W.C.B.C. TABLE 101.1) = 250 FT. (A & F-1 OCCUPANCY) 300 FT. (B OCCUPANCY)</p> <p>OCCUPANT LOAD</p> <table border="1"> <thead> <tr> <th>FLOOR</th> <th>AREA</th> <th>ALLOWABLE OCCUPANT LOAD</th> </tr> </thead> <tbody> <tr> <td>FIRST FLOOR:</td> <td></td> <td></td> </tr> <tr> <td>F-1</td> <td>70,958 S.F. (GROSS)</td> <td>710</td> </tr> <tr> <td>A-2</td> <td>1,515 S.F. (NET)</td> <td>101</td> </tr> <tr> <td>B</td> <td>4,162 S.F. (GROSS)</td> <td>42</td> </tr> <tr> <td>SECOND FLOOR:</td> <td></td> <td></td> </tr> <tr> <td>B</td> <td>8,506 S.F. (GROSS)</td> <td>85</td> </tr> <tr> <td>TOTAL OCCUPANT LOAD:</td> <td></td> <td>938</td> </tr> </tbody> </table> <p>EXTERIOR WALL OPENINGS BUILDING PERMITTED TO HAVE UNLIMITED UNPROTECTED OPENINGS (W.C.B.C. SECTION 705.8)</p> <p>SANITARY FIXTURES REFER TO ATTACHED SANITARY FIXTURE DETERMINATION WORKSHEET</p> | FLOOR | AREA | ALLOWABLE OCCUPANT LOAD | FIRST FLOOR: | | | F-1 | 70,958 S.F. (GROSS) | 710 | A-2 | 1,515 S.F. (NET) | 101 | B | 4,162 S.F. (GROSS) | 42 | SECOND FLOOR: | | | B | 8,506 S.F. (GROSS) | 85 | TOTAL OCCUPANT LOAD: | | 938 |
| FLOOR | AREA | ALLOWABLE OCCUPANT LOAD | | | | | | | | | | | | | | | | | | | | | | | | | | | | |
| FIRST FLOOR: | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | |
| F-1 | 70,958 S.F. (GROSS) | 710 | | | | | | | | | | | | | | | | | | | | | | | | | | | | |
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| SECOND FLOOR: | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | |
| B | 8,506 S.F. (GROSS) | 85 | | | | | | | | | | | | | | | | | | | | | | | | | | | | |
| TOTAL OCCUPANT LOAD: | | 938 | | | | | | | | | | | | | | | | | | | | | | | | | | | | |
| C 000 TITLE SHEET & VICINITY MAP C 100 GENERAL NOTES C 200 SITE PLAN C 201 STORM SEWER PLAN C 300 GRADING PLAN C 301 POND DETAILS C 400 EROSION CONTROL PLAN C 500 CONSTRUCTION DETAILS C 501 CONSTRUCTION DETAILS C 502 CONSTRUCTION DETAILS C 503 CONSTRUCTION DETAILS | A 101 TITLE SHEET A 102 WALL TYPES, ABBREVIATIONS, AND SYMBOLS A 300 DEMOLITION PLANS A 310 OVERALL/LIFE SAFETY PLAN - FIRST FLOOR A 311 OVERALL/LIFE SAFETY PLAN - SECOND FLOOR A 320 FIRST FLOOR PLAN - NEW ADDITION A 321 PARTIAL FIRST AND SECOND FLOOR PLANS A 330 ENLARGED PLANS, TOILET ROOM ACCESSORIES & ELEVATOR SECTIONS A 340 REFLECTED CEILING PLANS - FIRST FLOOR A 341 REFLECTED CEILING PLANS - SECOND FLOOR A 401 DOOR SCHEDULES & DOOR DETAILS A 402 DOOR AND WINDOW DETAILS A 403 INTERIOR FINISH SCHEDULES A 501 EXTERIOR ELEVATIONS A 601 BUILDING SECTION A 602 WALL SECTIONS A 603 WALL SECTIONS A 631 PLAN DETAILS A 632 EXTERIOR DETAILS A 633 EXTERIOR DETAILS A 701 ROOF PLAN A 800 INTERIOR ELEVATIONS, DETAILS & STAIR SECTION | S 000 GENERAL NOTES S 001 STRUCTURAL SCHEDULES S 100 OVERALL FOUNDATION PLAN S 100A FOUNDATION PLAN - NEW ADDITION S 100B FOUNDATION PLANS - EXISTING S 200 OVERALL MEZZANINE FRAMING PLAN S 200A MEZZANINE FRAMING PLANS S 201 OVERALL ROOF FRAMING PLAN S 201B ROOF FRAMING PLANS - EXISTING S 300 STRUCTURAL SECTIONS S 301 STRUCTURAL SECTIONS S 302 STRUCTURAL SECTIONS S 400 STRUCTURAL DETAILS S 410 STRUCTURAL DETAILS S 411 STRUCTURAL DETAILS S 500 STRUCTURAL ELEVATIONS | P 000 PLUMBING LEGEND, ABBREVIATIONS, NOTES P 100 PLUMBING UNDERGROUND PLAN P 101 PLUMBING FIRST FLOOR PLAN P 102 PLUMBING ROOF PLAN P 200 ENLARGED PLUMBING PLANS P 300 PLUMBING ISOMETRIC DIAGRAMS | M 000 MECHANICAL LEGEND, ABBREVIATIONS, NOTES M 001 MECHANICAL SCHEDULES AND SCHEMATICS M 101 MECHANICAL FIRST FLOOR PLAN M 102 MECHANICAL ROOF PLAN M 103 MECHANICAL PLANS - ALT #2 M 104 PARTIAL MECHANICAL FIRST FLOOR PLANS AND SECTIONS MD 105 MECHANICAL DEMOLITION PLANS | E 001 ELECTRICAL LEGEND, ABBREVIATIONS, NOTES E 002 ELECTRICAL SITE PLAN E 101 ELECTRICAL ADDITION LIGHTING PLAN E 102 ELECTRICAL EXISTING BUILDING SECOND FLOOR LIGHTING PLAN E 201 ELECTRICAL ADDITION ELECTRICAL PLAN E 202 ELECTRICAL EXISTING BUILDING SECOND FLOOR ELECTRICAL PLAN E 203 ELECTRICAL ROOF PLAN E 300 ELECTRICAL ENLARGED PLANS E 301 ELECTRICAL ADDITION ELECTRICAL PLANS - ALT. #1ELEC E 400 ELECTRICAL RISER DIAGRAM E 600 ELECTRICAL SCHEDULES E 601 ELECTRICAL SCHEDULES E 602 ELECTRICAL SCHEDULES ED 101 ELECTRICAL DEMOLITION PLANS | <p>ISSUE DATE: 1-27-17</p> <p>ADDITION & ALTERATIONS</p> <p>LDV, INC.</p> <p>BURLINGTON, WISCONSIN</p> <p>1135A MICHIGAN AVE. SHEBOYGAN, WI 53081 (920) 452-4444 225 EAST ST. PAUL AVE. MILWAUKEE, WI 53202 (414) 837-6450</p> <p>DRAWN BY: CJR</p> <p>CHECKED BY: KK</p> <p>A</p> <p>101</p> <p>PROJ. NO. 2016-91</p> | | | | | | | | | | | | | | | | | | | | | | | | |

ABBREVIATIONS

| | | | | | | | | | | | |
|--------|--------------------------------|---------|-----------------------------------|----------|--|----------|--|-----------|--|--------|----------------------------|
| A.B. | ANCHOR BOLT | CONC | CONCRETE | F.A.C.E. | FAMILY AND CONSUMER EDUCATION | J.B. | JOIST BEARING | PLYWD | PLYWOOD | T&G | TONGUE AND GROOVE |
| A.D.A. | AMERICAN WITH DISABILITIES ACT | CONT | CONTINUOUS | F.C.O. | FLOOR CLEAN OUT | JAN | JANITOR | PR | PAIR | T.B. | TACK BOARD |
| A.F.F. | ABOVE FINISHED FLOOR | CORR | CORRUGATED | F.D. | FLOOR DRAIN | JST | JOIST | PREFAB | PREFABRICATED | T.O. | TOP OF |
| A/C | AIR CONDITIONING | CPT | CARPET | F.E. | FIRE EXTINGUISHER | JT | JOINT | PSF | POUNDS PER SQUARE FOOT | T.O.B. | TOP OF BEAM |
| ACOUS | ACOUSTICAL | D | DEPTH | F.F. | FINISHED FLOOR | KIP | KNOCK OUT | PSI | POUNDS PER SQUARE INCH | T.O.F. | TOP OF FOOTING |
| ADD | ADDITION | D.F. | DRINKING FOUNTAIN | FAB | FABRICATED | PT. P.T. | POINT, PORCELAIN TILE, PAINT, PRESSURE TREATED | PT. P.T. | POINT, PORCELAIN TILE, PAINT, PRESSURE TREATED | T.O.M. | TOP OF MASONRY |
| ADJ | ADJUSTABLE | D.L. | DEAD LOAD | FDN | FOUNDATION | KIT | KITCHEN | R | RADIUS, RISER | T.O.P. | TOP OF PIER |
| ALT | ALTERNATE | DBL | DOUBLE | FIN | FINISH | L | LENGTH | R.C. | ROOF CONDUCTOR | T.O.S. | TOP OF STEEL |
| ALUM | ALUMINUM | DEG | DEGREE | FL | FLOOR | L.H. | LEFT HAND | Q.T. | QUARRY TILE | T.S. | TUBE STEEL |
| APPROX | APPROXIMATE | DEPT | DEPARTMENT | FT | FOOT, FEET | LL | LEFT LOAD | R | RADIUS, RISER | T.W. | TACK WALL |
| ARCH | ARCHITECT(U)RAL | DET | DETAIL | FTG | FOOTING | LAM | LAMINATE(D) | R.O. | ROUGH OPENING | TEL | TELEPHONE |
| ATTEN | ATTENUATION | DIA | DIAMETER | FURN | FURNACE | LAV | LAVATORY | R.D. | ROOF DRAIN | TEMP | TEMPERED |
| AUTO | AUTOMATED | DIAG | DIAGONAL | FURN | FURNITURE | LB | POUND | R.H. | RIGHT HAND | TERR | TERRAZZO |
| B.L. | BORROWED LITE | DISP | DISPENSER | FURR | FURRING | LOUV | LOUVER | R.O. | ROUGH OPENING | THK | THICK |
| B.M. | BENCH MARK | DIM | DIMENSION | G | GAS | M.B. | MARKER BOARD | REF | REFERENCE | TOT | TOTAL |
| B.O. | BOTTOM OF | DISP | DISPENSER | G.C. | GENERAL CONTRACTOR | M.O. | MASONRY OPENING | REG | REGISTER | TV | TELEVISION |
| B.T.U. | BRITISH THERMAL UNIT | DIV | DIVISION | G.M. | GAS METER | MACH | MACHINE | REIN | REINFORC(ING, ME NT) | TYP | TYPICAL |
| BD | BOARD | DN | DOWN | GA | GAUGE | MAINT | MAINTENANCE | REQD | REQUIRED | UNFIN | UNFINISHED |
| BLDG | BUILDING | DR | DOOR | GALV | GALVANIZED | MAX | MAXIMUM | REVL | REQUIR | UTIL | UTILITIES |
| BLK(G) | BLOCK(ING) | DS | DOWNSPOUT | GYP. BD. | GYP. BOARD | MCH | MECHANICAL | REV | REVISION | V | VINYL |
| BOT | BOTTOM | DW | DRYWALL | H.GT | HEIGHT | MEMB | MEMBRANE | RM | ROOM | V.B. | VINYL BASE |
| BRG | BEARING | E.J.S. | EXTERIOR INSULATION FINISH SYSTEM | H.H. | HOLLOW METAL HEATING, VENTILATION AND AIR CONDITIONING | MEZ | MEZZANINE | S.C. | SOLID CORE | V.C.T. | VINYL COMPOSITION TILE |
| C.B. | CATCH BASIN, CHALK BOARD | E.W. | EACH WAY | H.M. | HOLLOW METAL HEATING, VENTILATION AND AIR CONDITIONING | MFR | MANUFACTURER | S.S. | STAINLESS STEEL | VENT | VENTILATION |
| C.F. | CUBIC FEET | E.W.C. | ELECTRIC WATER COOLER | H.V.A.C. | HOLLOW METAL HEATING, VENTILATION AND AIR CONDITIONING | MH | MANHOLE | SAN | SANITARY SEWER | VERT | VERTICAL |
| C.G. | CORNER GUARD | EA | EACH | H.W. | HOT WATER | MIN | MINIMUM | SECT | SECTION | VEST | VESTIBULE |
| C.I. | CONTROL JOINT | EL ELEV | ELEVATION, ELEVATOR | HC | HANDICAPPED | MISC | MISCELLANEOUS | SECT | SECTION | VOL | VOLUME |
| C.L. | CORRUGATED METAL PIPE | ELEC | ELECTRIC | HD | HEAD | MTL | METAL | SECUR | SECURITY | W | WIDTH, WATER |
| C.M.P. | CORRUGATED METAL PIPE | EMER | EMERGENCY | HDR | HEADER | MULL | MULLION | SERV | SERVICE | W.C. | WATER CLOSET, WATER COOLER |
| C.O. | CLEAN OUT | ENCL | ENCLOSED | HDR | HEADER | N | NORTH | SHT | SHEET | W.C.O. | WALL CLEAN OUT |
| C.W. | COLD WATER | ENG | ENGINEER(D) | HWR | HARDWARE | N.I.C. | NOT IN CONTRACT | SIM | SIMILAR | W.H. | WATER HEATER |
| CAB | CABINET | EQ | EQUAL | HWR | HARDWARE | N.T.S. | NOT TO SCALE | SPEC(S) | SPECIFICATION(S) | W/O | WITH OUT |
| CLG | CEILING | EQUIP | EQUIPMENT | HORIZ | HORIZONTAL | NO | NUMBER | SQ | SQUARE | WD | WOOD |
| CLR | CLEAR | EXCAV | EXCAVATE | HR | HEATER | NOM | NOMINAL | ST. STORE | STORAGE | WT | WEIGHT |
| CMU | CONCRETE MASONRY UNIT | EXST | EXISTING | HORIZ | HORIZONTAL | O.C./C | ON CENTER | STD | STANDARD | WWW | WELDED WIRE MESH |
| COL | COLUMN | EXP | EXPOSED | HR | HEATER | O.D. | OUTSIDE DIAMETER | STL | STEEL | YD | YARD |
| COMP | COMPOSITION, COMPACT | INT | INTERIOR | HTR | HEATER | P.LAM. | PLASTIC LAMINATE | STRM | STORM SEWER | | |
| | | EXT | EXTERIOR | I.D. | INSIDE DIAMETER | PL | PLATE | STRUCT | STRUCTURAL | | |
| | | | | INSUL | INSULATION | PLAS | PLASTIC | SUSP | SUSPENDED | | |
| | | | | INT | INTERIOR | PLAS | PLASTIC | T | TREAD | | |
| | | | | INV | INVERT | PLBG | PLUMBING | T&B | TOP AND BOTTOM | | |

MATERIALS AND SYMBOLS

| | | | |
|--|----------------------------------|--|------------------------------|
| | ROUGH LUMBER | | CENTER LINE |
| | FINISH LUMBER | | PROPERTY LINE |
| | STRUCTURAL STEEL | | NEW CONTOURS |
| | BRICK | | EXISTING CONTOURS |
| | CONCRETE MASONRY UNIT | | ELEVATION MARKER |
| | POURED-IN-PLACE CONCRETE | | ELEVATION REFERENCE |
| | METAL / WOOD STUD WALL | | SECTION REFERENCE |
| | GLAZING | | PLAN / DETAIL REFERENCE |
| | SPRAYED FOAM INSULATION | | CEILING TAG |
| | BATT INSULATION | | DOOR TAG |
| | RIGID INSULATION | | WINDOW TAG |
| | PLYWOOD / PARTICLE BOARD | | PLAN NOTE TAG |
| | SAND / MORTAR / GYPSUM BOARD | | DEMOLITION NOTE TAG |
| | COMPACTED DRAINAGE FILL | | COLUMN GRID |
| | COMPACTED STRUCTURAL FILL | | REVISION TAG |
| | TOPSOIL | | VIEW / DETAIL IDENTIFICATION |
| | NON-STRUCTURAL FILL | | |
| | EXISTING CONSTRUCTION / MATERIAL | | |
| | ALTERNATE WORK | | |

VIEW NAME: XX
SCALE: X/X" = X'-XX"



REVISIONS:

NOTICE TO BIDDERS
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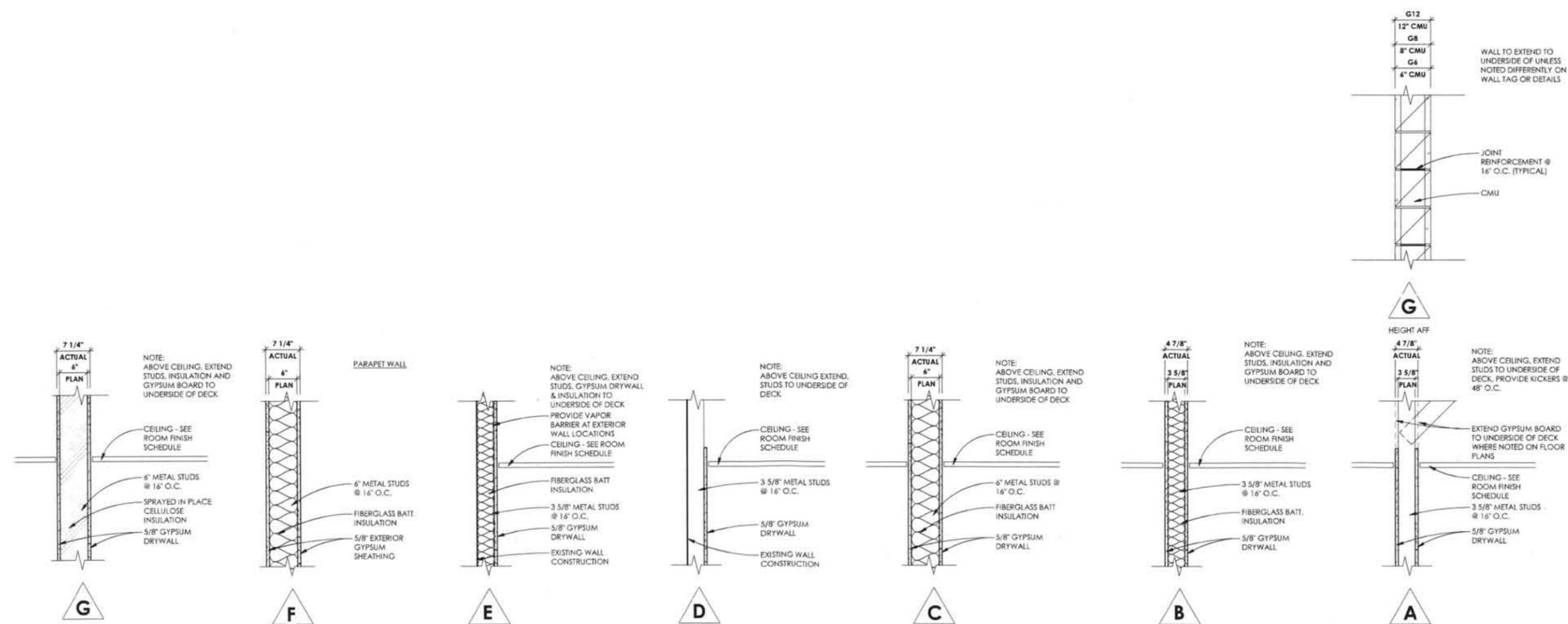
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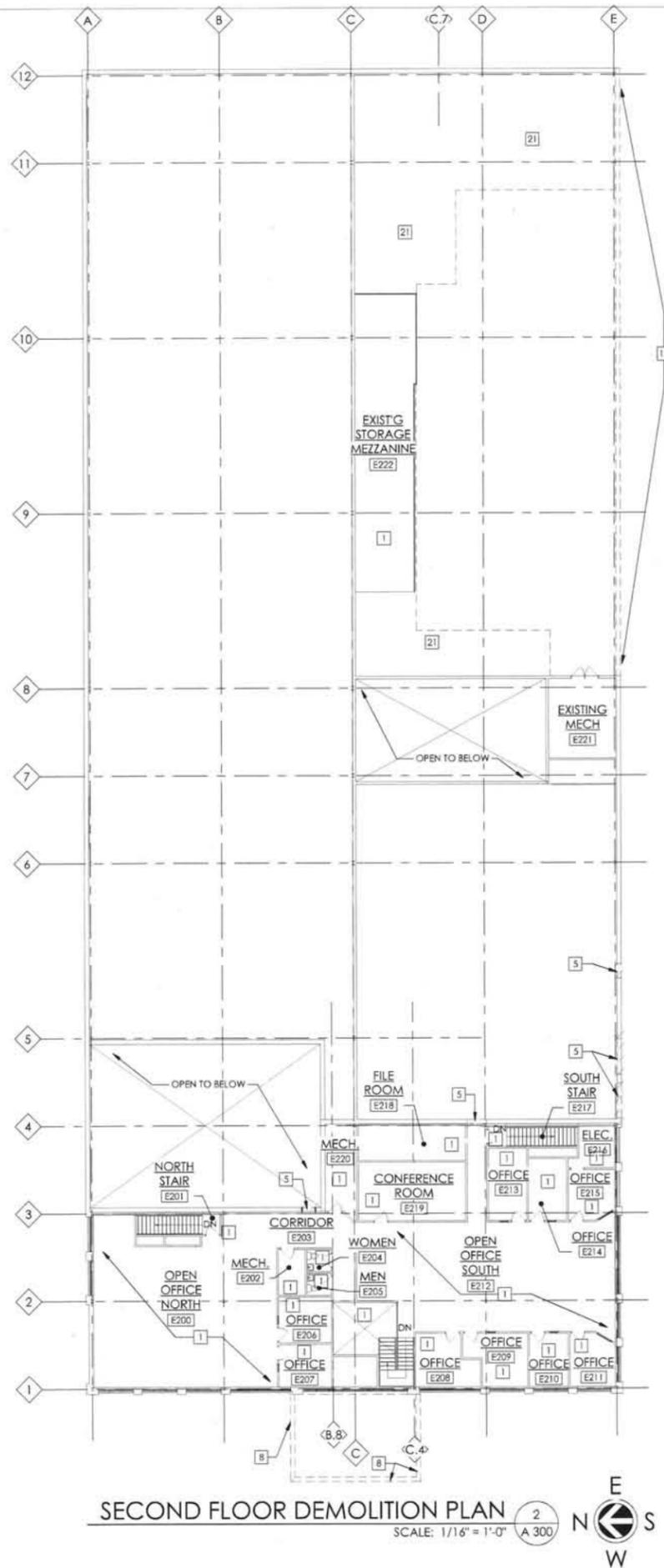
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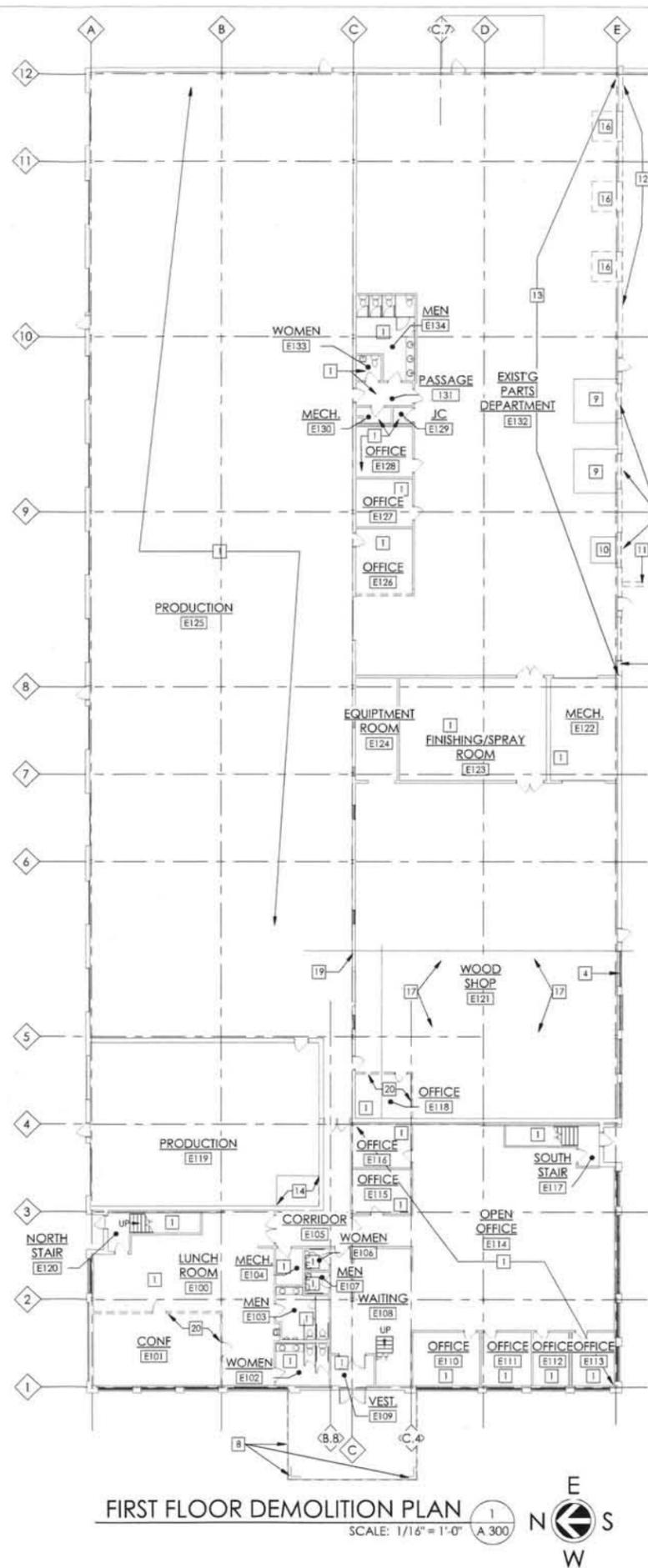
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WALL TYPES
SCALE: 1" = 1'-0"



SECOND FLOOR DEMOLITION PLAN 2 A 300 SCALE: 1/16" = 1'-0" E
N
W
S



FIRST FLOOR DEMOLITION PLAN 1 A 300 SCALE: 1/16" = 1'-0" E
N
W
S

GENERAL DEMOLITION NOTES

- ALL EXISTING CONDITIONS TO BE FIELD VERIFIED PRIOR TO ONSET OF WORK. ALL DISCREPANCIES TO BE REPORTED TO ARCHITECT.
- VERIFY WITH OWNER WHAT ITEMS THAT ARE TO BE REMOVED FROM EXISTING BUILDING THAT ARE TO BE RETAINED FOR FUTURE USE BY OWNER.
- SEE DRAWINGS BY OTHERS FOR MEP, CIVIL AND FP DEMOLITION REQUIREMENTS.
- SALVAGE AND REUSE ANY UNDAMAGED EXTERIOR MASONRY BLOCK FOR INFILL LOCATIONS.
- SEE CIVIL DRAWINGS FOR DEMOLITION AND SITE REQUIREMENTS FOR NEW ADDITION.

DEMOLITION PLAN KEYNOTES

| NO. | DESCRIPTION |
|-----|--|
| 1 | EXISTING TO REMAIN (NO ARCHITECTURAL WORK REQUIRED) |
| 4 | REMOVE EXISTING WINDOW, PREPARE FOR CMU INFILL |
| 5 | REMOVE PORTION OF EXISTING MASONRY WALL TO ACCOMMODATE NEW CONSTRUCTION. |
| 7 | EXISTING METERS TO BE RELOCATED (SEE DRAWINGS BY OTHERS FOR FURTHER INFORMATION) |
| 8 | REMOVE EXISTING ENTRY CANOPY INCLUDING COLUMNS, ALL SUPPORTS, FOOTINGS FOUNDATION. (SEE STRUCTURAL DWGS) |
| 9 | EXISTING COMPACTOR PIT, REMOVE EQUIPMENT AND PREP FOR INFILLED (SEE STRUCTURAL DWGS) |
| 10 | EXISTING DOCK LEVELER TO BE REMOVED, PREP PIT FOR INFILLED (SEE STRUCTURAL DWGS) |
| 11 | REMOVE EXISTING RETAINING WALL (SEE CIVIL DWGS) |
| 12 | SEE STRUCTURAL DWGS FOR UNDER PINNING FOR NEW RECESSED LOADING DOCKS |
| 13 | REMOVE EXISTING MASONRY EXTERIOR WALL FULL HEIGHT. REMOVE ALL DOORS, WINDOWS AND COPING WITHIN WALL TO BE DEMOLISHED. REFER TO STRUCTURAL DRAWINGS FOR FURTHER INFORMATION. COORDINATE WITH NEW FLOOR PLANS. |
| 14 | REMOVE EXISTING FLOOR CONSTRUCTION AS REQUIRED FOR NEW ELEVATOR PIT. REFER TO STRUCTURAL DRAWINGS FOR FURTHER INFORMATION AND UNDER PINNING REQUIREMENTS. |
| 15 | REMOVE ALL DOCK EQUIPMENT, ACCESSORIES, OVERHEAD DOOR & HARDWARE |
| 16 | NEW DOCK OR TRASH COMPRESSOR PIT (SEE NEW FLOOR PLANS) |
| 17 | SEE STRUCTURAL DWGS FOR FOOTING REQUIREMENTS FOR NEW COLUMNS |
| 19 | REMOVE PORTION OF EXISTING CMU WALL AS REQUIRED FOR NEW COLUMN (SEE STRUCTURAL DWGS). REMOVE SUCH THAT INFILL CAN BE DONE NEATLY AFTER COLUMN IS INSTALLED |
| 20 | REMOVE EXISTING DOOR/FRAME AND PARTITION WALL - BY OWNER |
| 21 | REMOVE PORTION OF EXISTING MEZZANINE TO ACCOMMODATE NEW CONSTRUCTION - BY OWNER |

DEMOLITION LEGEND

- EXISTING CONSTRUCTION TO BE REMOVED
- EXISTING DOOR TO BE REMOVED
- ALTERNATE



REVISIONS:

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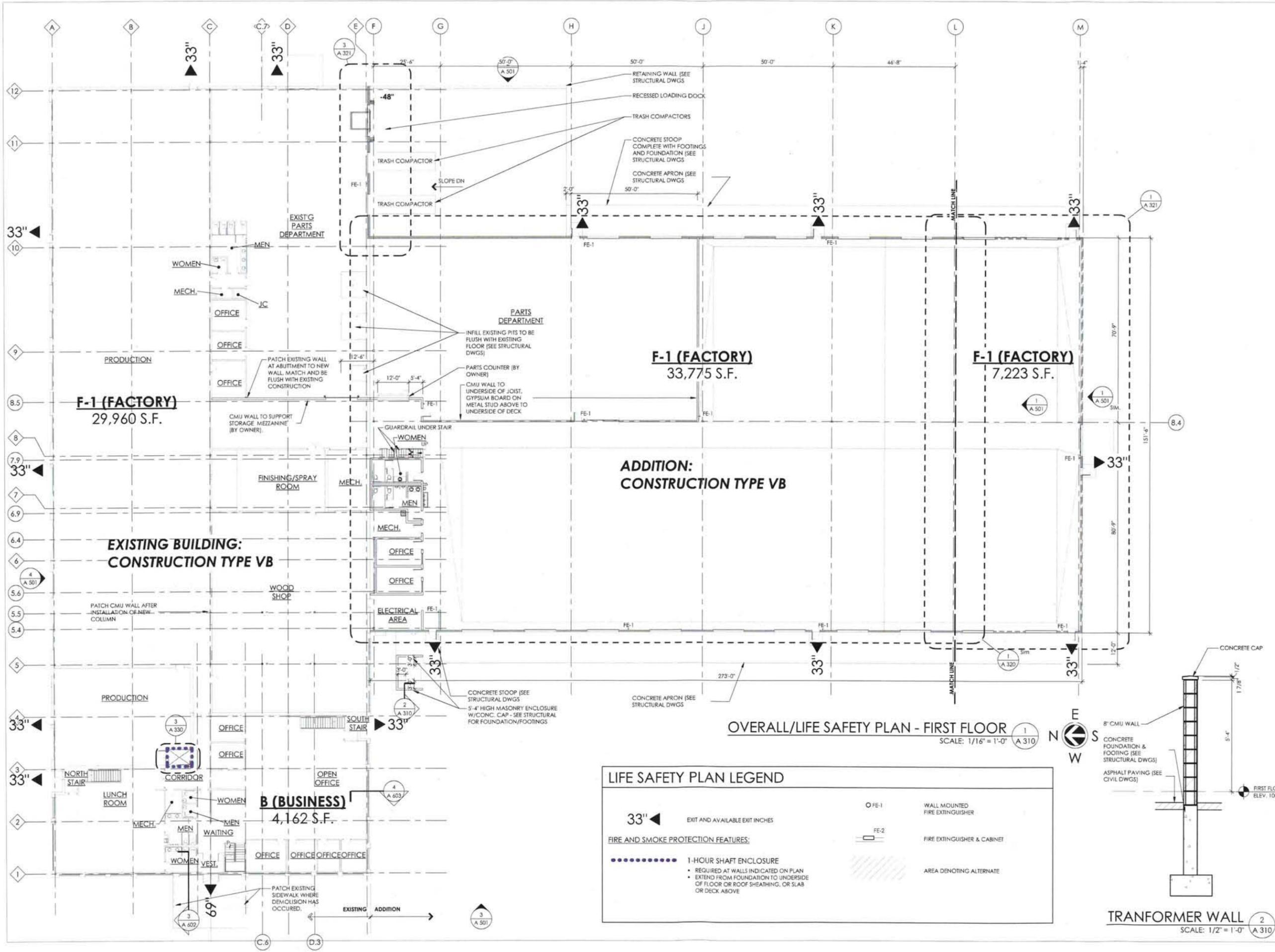
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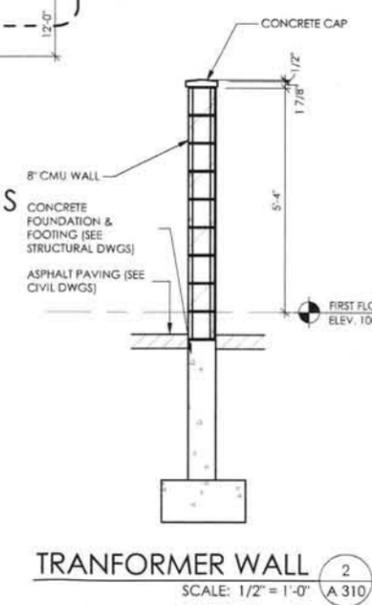
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LIFE SAFETY PLAN LEGEND

| | | | |
|-------|---|--------|--------------------------------|
| 33" ◀ | EXIT AND AVAILABLE EXIT INCHES | ○ FE-1 | WALL MOUNTED FIRE EXTINGUISHER |
| | 1-HOUR SHAFT ENCLOSURE | □ FE-2 | FIRE EXTINGUISHER & CABINET |
| | REQUIRED AT WALLS INDICATED ON PLAN | ▨ | AREA DENOTING ALTERNATE |
| | EXTEND FROM FOUNDATION TO UNDERSIDE OF FLOOR OR ROOF SHEATHING, OR SLAB OR DECK ABOVE | | |



OVERALL/LIFE SAFETY PLAN - FIRST FLOOR
SCALE: 1/16" = 1'-0" (A 310)

REVISIONS:

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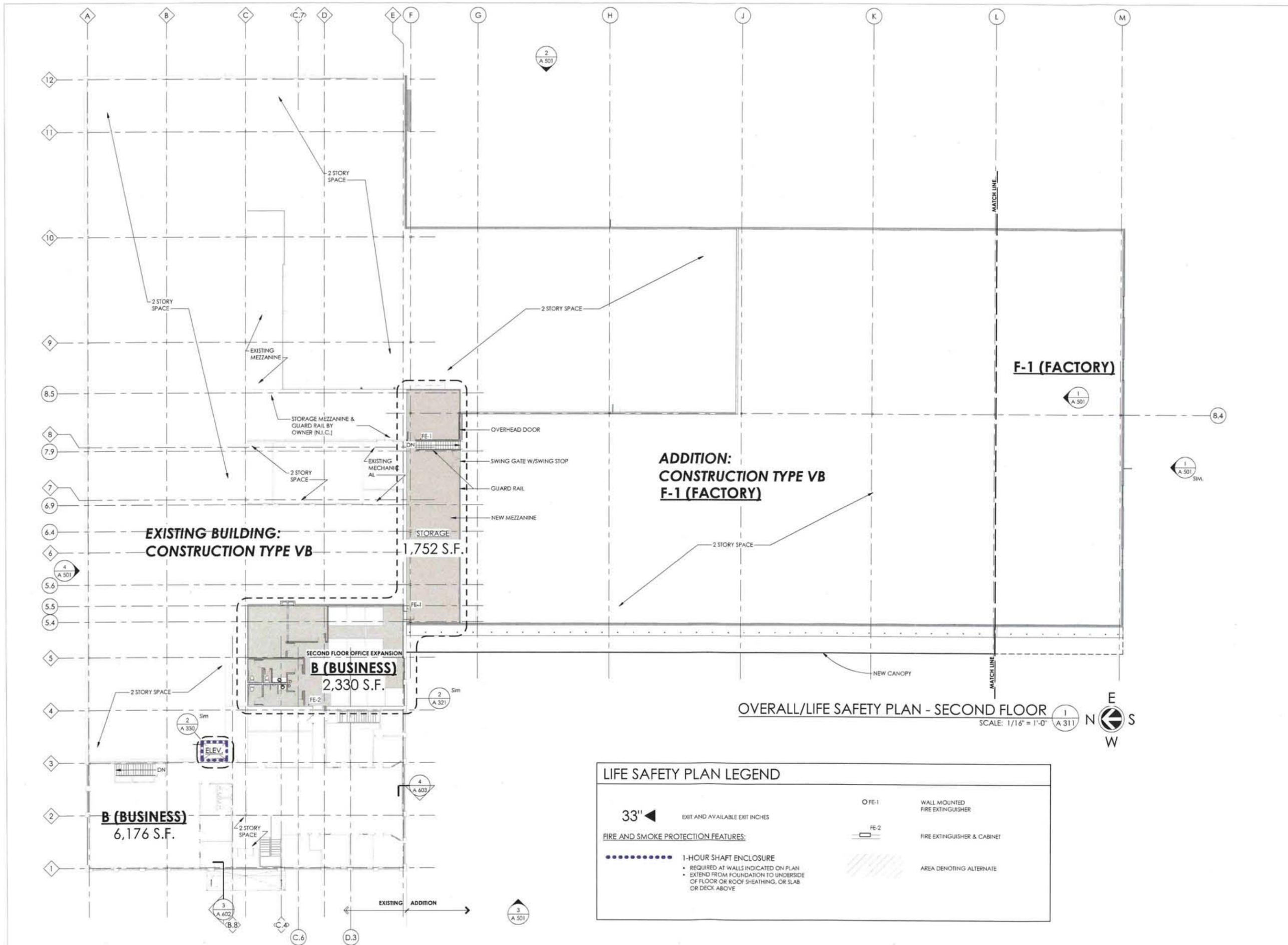
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| LIFE SAFETY PLAN LEGEND | |
|-------------------------|--|
| 33" ◀ | EXIT AND AVAILABLE EXIT INCHES |
| ○ FE-1 | WALL MOUNTED FIRE EXTINGUISHER |
| □ FE-2 | FIRE EXTINGUISHER & CABINET |
| | 1-HOUR SHAFT ENCLOSURE • REQUIRED AT WALLS INDICATED ON PLAN • EXTEND FROM FOUNDATION TO UNDERSIDE OF FLOOR OR ROOF SHEATHING, OR SLAB OR DECK ABOVE |
| ▨ | AREA DENOTING ALTERNATE |

REVISIONS:

GENERAL PLAN NOTES

- INTERIOR DIMENSIONS TAKEN FROM FACE OF STUD TO FACE OF STUD UNLESS NOTED OTHERWISE.
- DIMENSIONS SHOWN AS 'CLEAR' ARE TO FINISH FACE.
- SEE SPECIFICATIONS FOR FURTHER ALTERNATE(S) DESCRIPTION AND REQUIREMENTS.

FLOOR PLAN KEYNOTES

| NO | DESCRIPTION |
|----|--|
| 1 | ALIGN SURFACES |
| 2 | INFILL EXISTING DOCK PIT - NEW FLOOR TO BE LEVEL WITH EXISTING (SEE STRUCTURAL DWGS) |
| 3 | CENTER WALL ON COLUMN GRID LINE |
| 4 | SEE SEPARATE PLAN FOR LOADING DOCK |
| 5 | DOCK SHELTER |
| 6 | NEW INSULATED CONCRETE COMPOSITE WALL PANEL ON EXISTING MODIFIED FOUNDATION (SEE STRUCTURAL DWGS) |
| 7 | GUARDRAIL WITH HANDRAIL |
| 8 | HANDRAIL EXTENSION |
| 9 | WALL MOUNTED STEEL PIPE HANDRAIL, PAINTED |
| 10 | GUARDRAIL |
| 11 | CLOSED RISER METAL PAN STAIR |
| 12 | CONTINUOUS EXTERIOR WALL EXPANSION JOINT |
| 13 | SWING GATE W/LATCHING HARDWARE. HARDWARE TO BE SUCH TO ALLOW GATE TO ONLY SWING INWARDS INTO MEZZANINE AND TO BE SPRING LOADED TO RETURN DOORS TO CLOSED POSITION WHEN NOT IN USE. |
| 14 | TRENCH DRAIN (SEE PLUMBING DRAWINGS) |
| 15 | 3-PERSON TROUGH SINK WITH GOOSENECK FAUCETS AND WRIST BLADE HANDLES (SEE PLUMBING DRAWINGS) |
| 16 | HI-LO ELECTRIC WATER COOLER |
| 17 | CONTINUOUS INTERIOR WALL EXPANSION JOINT: BACKER ROD AND SEAL JOINT EA. SIDE (WHERE ACCESSIBLE) FULL HEIGHT OF WALL |
| 18 | CONTINUOUS FLOOR EXPANSION JOINT (SEE DETAIL 1/A800) |
| 19 | NEW DRYWALL OPENING, 7' HIGH, ALIGN JAMBS WITH ADJACENT EXISTING WALL CONSTRUCTION. |
| 20 | NEW WINDOWS TO MATCH AND ALIGN WITH WINDOWS BELOW AT FIRST FLOOR (SEE EXTERIOR ELEVATIONS) |
| 22 | CONCRETE FILLED STEEL BOLLARD, CROWN TOP, 6" DIAMETER 42" AFF, PAINTED SAFETY YELLOW. |
| 23 | SURFACE MOUNTED VEHICLE RESTRAINT |
| 24 | OPERABLE PARTITION |
| 25 | DOCK LEVELER |
| 27 | MOP SINK (SEE PLUMBING DWGS) |
| 28 | OPENING TO BE INFILLED WITH MATCHING UNDAMAGED SALVAGED MASONRY. TOOTH IN, MATCH MORTAR |
| 29 | PROVIDE LINTEL AND KNOCK OUT PANEL FOR FUTURE DOOR. PANEL TO BE 3'-4" WIDE BY 7'-4" HIGH. |
| 30 | WINDOW ABOVE SHOWN DASHED |
| 31 | CMU WALL AS KEYED, TOP OF WALL TO BE AT 9'-9 1/2" A.F.F. NORTH OF EXPANSION JOINT |

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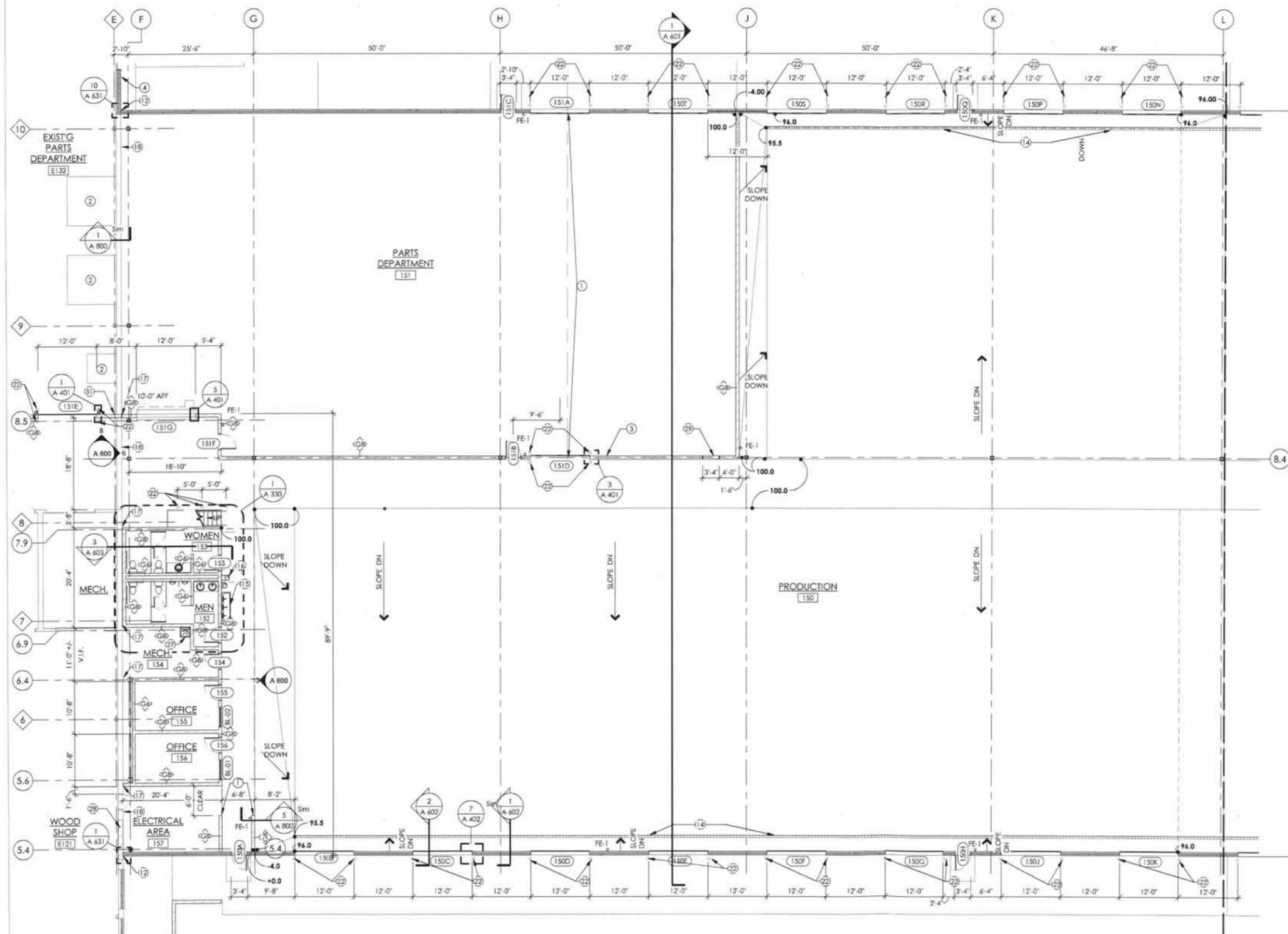
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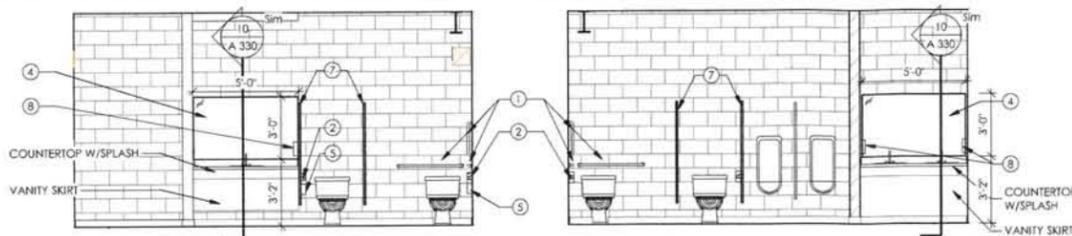
FIRST FLOOR PLAN - NEW ADDITION
SCALE: 3/32" = 1'-0" A 320



REVISIONS:

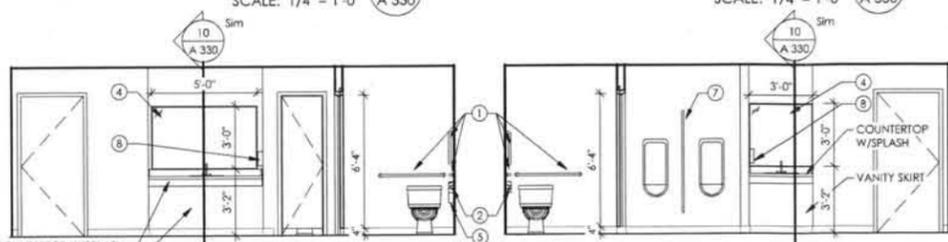
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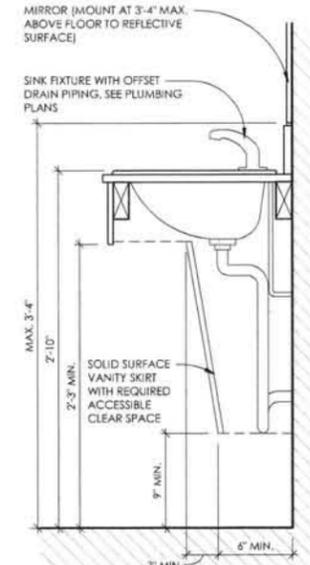
WOMEN 153 WEST WALL 15
SCALE: 1/4" = 1'-0" A 330

MEN 152 EAST WALL 14
SCALE: 1/4" = 1'-0" A 330

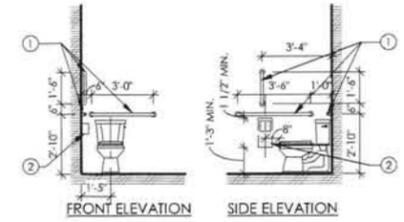


WOMENS 227 WEST WALL 12
SCALE: 1/4" = 1'-0" A 330

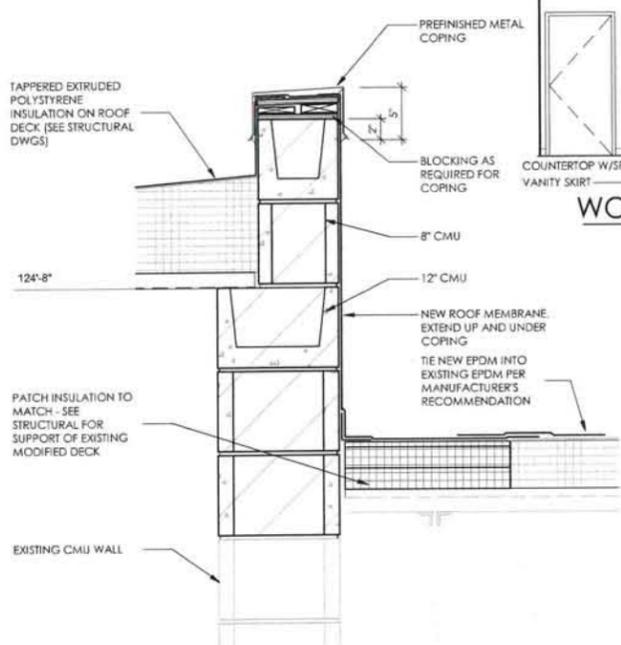
MEN 228 EAST WALL 11
SCALE: 1/4" = 1'-0" A 330



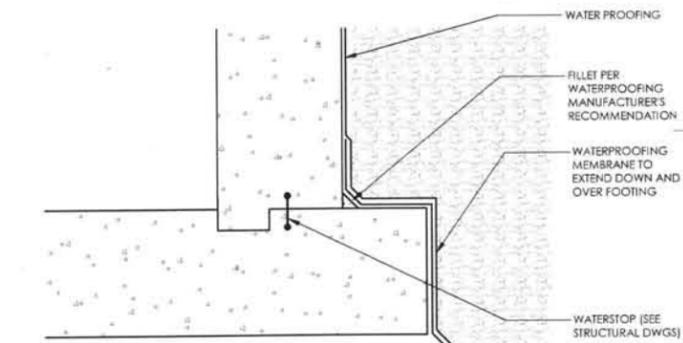
"ACCESSIBLE" VANITY DETAIL 10
SCALE: 1 1/2" = 1'-0" A 330



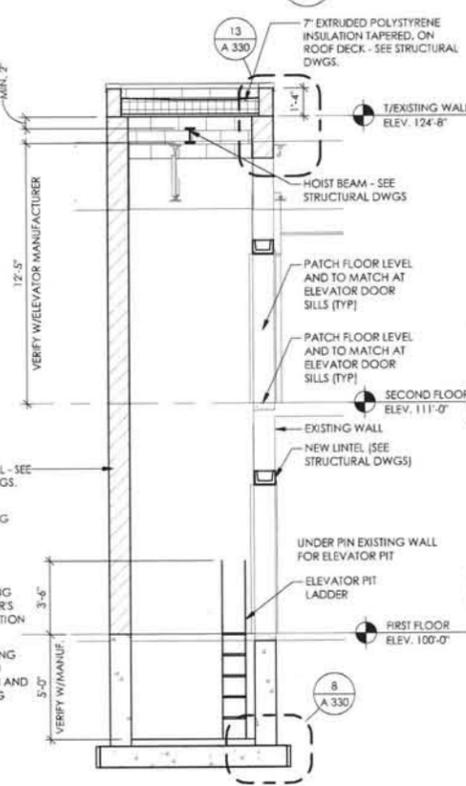
"ACCESSIBLE" WATER CLOSET DETAILS 9
SCALE: 1/4" = 1'-0" A 330



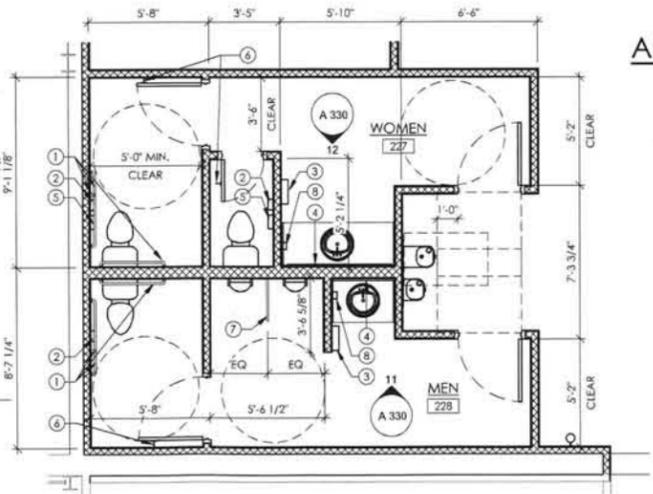
ELEVATOR PARAPET DETAIL 13
SCALE: 1 1/2" = 1'-0" A 330



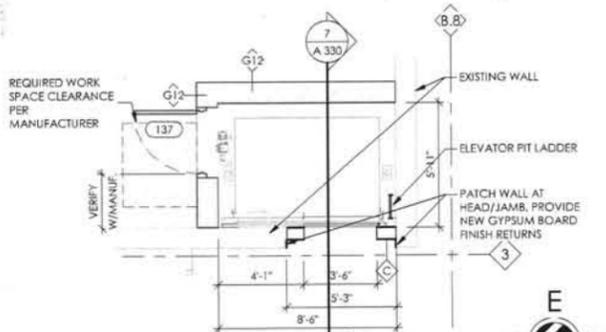
ELEVATOR FOOTING 8
SCALE: 1 1/2" = 1'-0" A 330



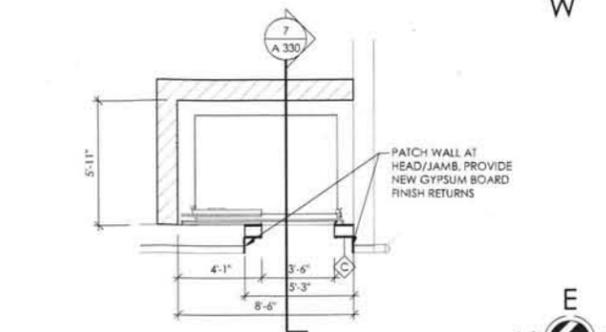
ELEVATOR 7
SCALE: 1/4" = 1'-0" A 330



TOILET ROOMS 6
SCALE: 1/4" = 1'-0" A 330



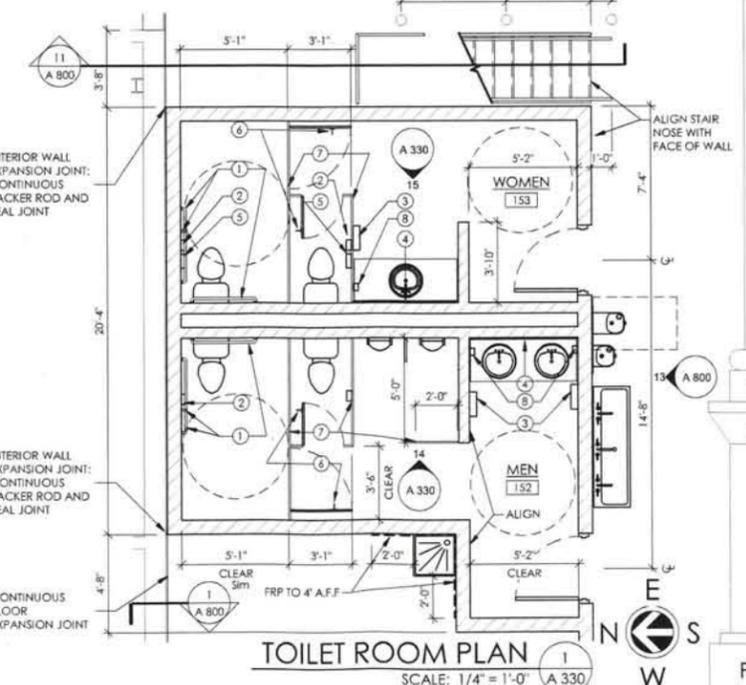
FIRST FLOOR ELEVATOR PLAN 3
SCALE: 1/4" = 1'-0" A 330



SECOND FLOOR ELEVATOR PLAN 2
SCALE: 1/4" = 1'-0" A 330

ACCESSIBLE TOILET ROOM ACCESSORY HEIGHT DETAILS

| TOILET ROOM ACCESSORIES SCHEDULE | |
|----------------------------------|---|
| NO. | DESCRIPTION |
| 1 | GRAB BARS |
| 2 | TOILET PAPER DISPENSER - WALL MOUNTED |
| 3 | PAPER TOWEL DISPENSER - OWNER PROVIDED, GC TO INSTALL |
| 4 | FRAMELESS MIRROR - MOUNT AT 3'-4" MAX ABOVE FLOOR TO REFLECTIVE SURFACE |
| 5 | NAPKIN DISPOSAL - WALL MOUNTED |
| 6 | ROBE HOOK |
| 7 | TOILET PARTITION |
| 8 | SOAP DISPENSER |



TOILET ROOM PLAN 1
SCALE: 1/4" = 1'-0" A 330

GENERAL PLAN NOTES

- INTERIOR DIMENSIONS TAKEN FROM FACE OF STUD TO FACE OF STUD UNLESS NOTED OTHERWISE.
- DIMENSIONS SHOWN AS 'CLEAR' ARE TO FINISH FACE.
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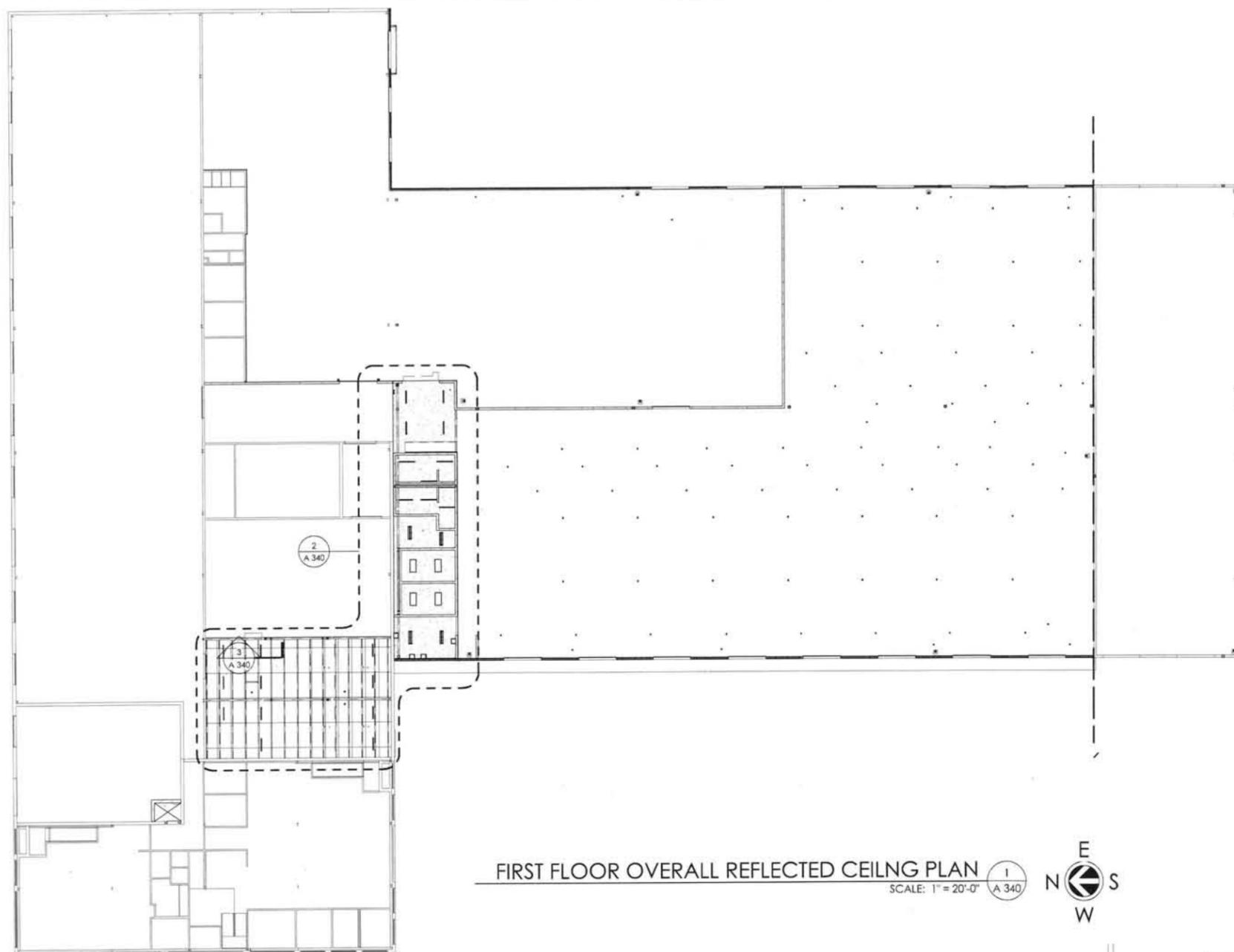
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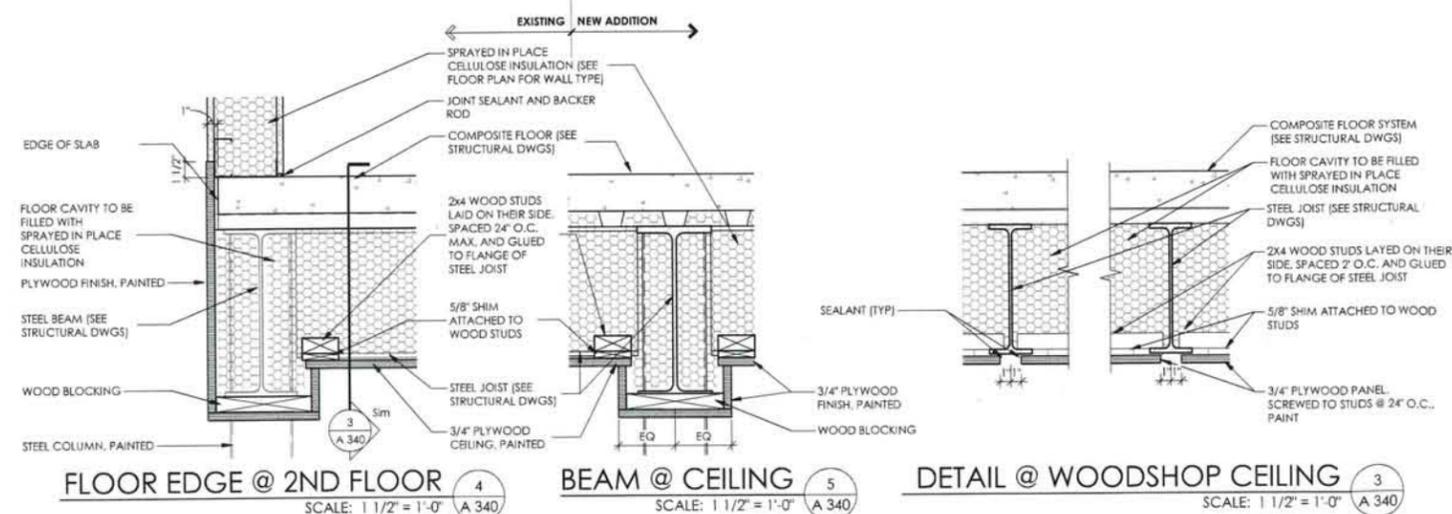
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| REFLECTED CEILING PLAN LEGEND | |
|-------------------------------|------------------------------|
| | 2 x 2' ACOUSTIC TILE CEILING |
| | 4 X 8' PLYWOOD CEILING |
| | GYPSUM BOARD |
| | EXPOSED CONCRETE PLANK |
| | EXPOSED STRUCTURE |
| | AREA DENOTING ALTERNATE |



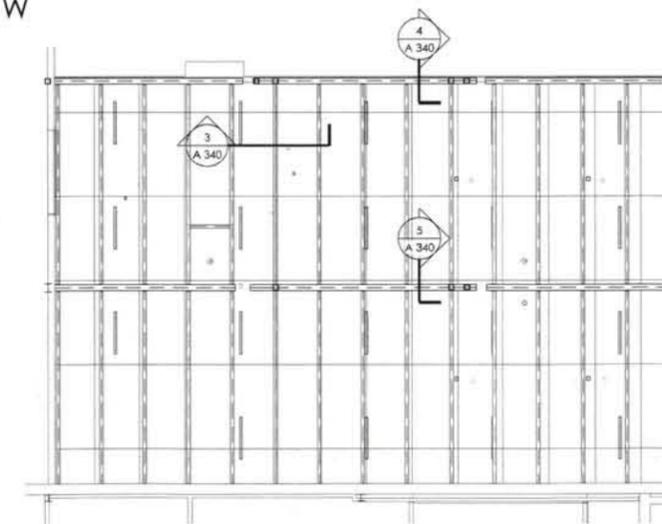
FIRST FLOOR OVERALL REFLECTED CEILING PLAN
SCALE: 1" = 20'-0" **1**
A 340



FLOOR EDGE @ 2ND FLOOR **4**
SCALE: 1 1/2" = 1'-0" A 340

BEAM @ CEILING **5**
SCALE: 1 1/2" = 1'-0" A 340

DETAIL @ WOODSHOP CEILING **3**
SCALE: 1 1/2" = 1'-0" A 340



FIRST FLOOR PARTIAL REFLECTED CEILING PLAN **2**
SCALE: 1/8" = 1'-0" A 340



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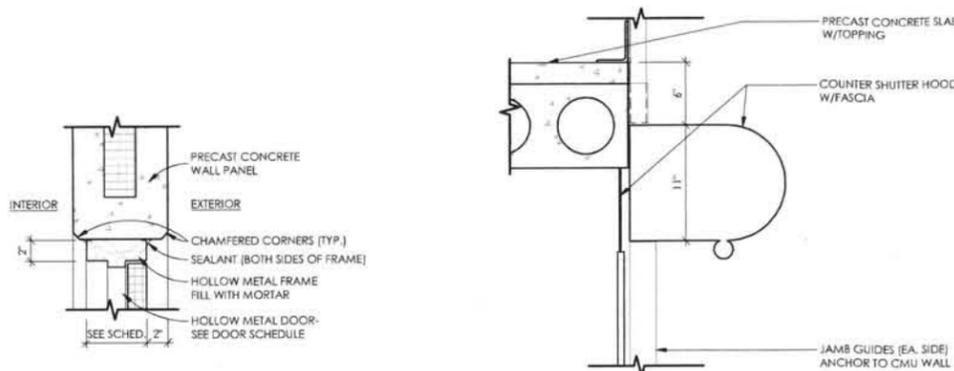
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401

PROJ. NO. 2016-91

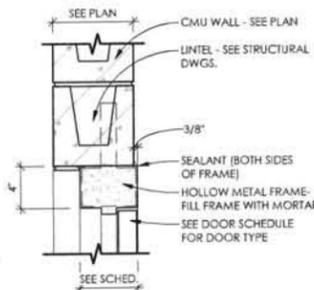
DOOR SCHEDULE

| DOOR NO. | DOOR SIZE | DOOR TYPE | MAT'L | GLASS TYPE | HARDWARE SET NO. | FRAME | | | | FIRE RATING | REMARKS | |
|----------|-----------------|-----------|-------|------------|------------------|------------|-------|-------------|---------|-------------|---------|---|
| | | | | | | FRAME TYPE | MAT'L | FRAME DEPTH | HEAD | | | |
| 137 | 3'-0" x 7'-0" | 1 | HM | | | 2 | HM | 5 3/4" | 7/A401 | 4/A401 | 3/4 Hr. | 8 |
| 150A | 3'-0" x 7'-0" | 2 | HM | 1 | | 1 | HM | 5 3/4" | 9/A401 | 9/A401 | | 1 |
| 150AA | 12'-0" x 14'-0" | 4 | STL | | | | STL | 0" | 10/A402 | 7/A402 | | 2 |
| 150B | 12'-0" x 14'-0" | 4 | STL | | | | STL | 0" | 10/A402 | 7/A402 | | 2 |
| 150BB | 12'-0" x 14'-0" | 4 | STL | | | | STL | 0" | 10/A402 | 7/A402 | | 2 |
| 150C | 12'-0" x 14'-0" | 4 | STL | | | | STL | 0" | 10/A402 | 7/A402 | | 2 |
| 150D | 12'-0" x 14'-0" | 4 | STL | | | | STL | 0" | 10/A402 | 7/A402 | | 2 |
| 150E | 12'-0" x 14'-0" | 4 | STL | | | | STL | 0" | 10/A402 | 7/A402 | | 2 |
| 150F | 12'-0" x 14'-0" | 4 | STL | | | | STL | 0" | 10/A402 | 7/A402 | | 2 |
| 150G | 12'-0" x 14'-0" | 4 | STL | | | | STL | 0" | 10/A402 | 7/A402 | | 2 |
| 150H | 3'-0" x 7'-0" | 2 | HM | 1 | | 1 | HM | 5 3/4" | 9/A401 | 9/A401 | | 1 |
| 150J | 12'-0" x 14'-0" | 4 | STL | | | | STL | 0" | 10/A402 | 7/A402 | | 2 |
| 150K | 12'-0" x 14'-0" | 4 | STL | | | | STL | 0" | 10/A402 | 7/A402 | | 2 |
| 150L | 3'-0" x 7'-0" | 2 | HM | 1 | | 1 | HM | 5 3/4" | 9/A401 | 9/A401 | | 1 |
| 150M | 12'-0" x 13'-8" | 4 | STL | | | | STL | 0" | 10/A402 | 7/A402 | | 2 |
| 150N | 12'-0" x 14'-0" | 4 | STL | | | | STL | 0" | 10/A402 | 7/A402 | | 2 |
| 150P | 12'-0" x 14'-0" | 4 | STL | | | | STL | 0" | 10/A402 | 7/A402 | | 2 |
| 150Q | 3'-0" x 7'-0" | 2 | HM | 1 | | 1 | HM | 5 3/4" | 9/A401 | 9/A401 | | 1 |
| 150R | 12'-0" x 14'-0" | 4 | STL | | | | STL | 0" | 10/A402 | 7/A402 | | 2 |
| 150S | 12'-0" x 14'-0" | 4 | STL | | | | STL | 0" | 10/A402 | 7/A402 | | 2 |
| 150T | 12'-0" x 13'-8" | 4 | STL | | | | STL | 0" | 10/A402 | 7/A402 | | 2 |
| 150U | 12'-0" x 14'-0" | 4 | STL | | | | STL | 0" | 10/A402 | 7/A402 | | 2 |
| 150V | 12'-0" x 14'-0" | 4 | STL | | | | STL | 0" | 10/A402 | 7/A402 | | 2 |
| 150W | 3'-0" x 7'-0" | 2 | HM | 1 | | 1 | HM | 5 3/4" | 9/A401 | 9/A401 | | 1 |
| 150X | 3'-0" x 7'-0" | 2 | HM | 1 | | 1 | HM | 5 3/4" | 9/A401 | 9/A401 | | 1 |
| 150Y | 12'-0" x 13'-8" | 4 | STL | | | | STL | 0" | 10/A402 | 7/A402 | | 2 |
| 150Z | 3'-0" x 7'-0" | 2 | HM | 1 | | 1 | HM | 5 3/4" | 9/A401 | 9/A401 | | 1 |
| 151A | 12'-0" x 13'-8" | 4 | STL | | | | STL | 0" | 10/A402 | 7/A402 | | 2 |
| 151B | 3'-0" x 7'-0" | 2 | HM | 3 | | 2 | HM | 5 3/4" | 7/A401 | 4/A401 | | |
| 151C | 3'-0" x 7'-0" | 2 | HM | 1 | | 1 | HM | 5 3/4" | 9/A401 | 9/A401 | | 1 |
| 151D | 12'-0" x 12'-0" | 5 | STL | | | | STL | 0" | | 3/A401 | | 3 |
| 151E | 12'-0" x 10'-0" | 5 | STL | | | | STL | 0" | | 1/A401 | | 3 |
| 151F | 3'-0" x 7'-0" | 2 | HM | 3 | | 2 | HM | 5 3/4" | 7/A401 | 4/A401 | | |
| 151G | 12'-0" x 7'-6" | 3 | ALUM | | | | ALUM | 0" | 3/A401 | 5/A401 | | 7 |
| 152 | 3'-0" x 7'-0" | 1 | HM | | | 2 | HM | 5 3/4" | 7/A401 | 4/A401 | | 5 |
| 153 | 3'-0" x 7'-0" | 1 | HM | | | 2 | HM | 5 3/4" | 7/A401 | 4/A401 | | 5 |
| 154 | 3'-0" x 7'-0" | 1 | HM | | | 2 | HM | 5 3/4" | 7/A401 | 4/A401 | | |
| 155 | 3'-0" x 7'-0" | 2 | HM | 3 | | 2 | HM | 5 3/4" | 7/A401 | 4/A401 | | |
| 156 | 3'-0" x 7'-0" | 2 | HM | 3 | | 2 | HM | 5 3/4" | 7/A401 | 4/A401 | | |
| 225 | 3'-0" x 6'-8" | 1 | HM | | | 2 | HM | 5 3/4" | 7/A401 | 1/A401 | | |
| 226A | 3'-0" x 6'-8" | 2 | WD | 3 | | 1 | HM | 5 3/4" | 6/A401 | 6/A401 | | |
| 226B | 3'-0" x 6'-8" | 2 | WD | 3 | | 1 | HM | 5 3/4" | 6/A401 | 6/A401 | | |
| 227 | 3'-0" x 6'-8" | 1 | WD | | | 1 | HM | 5 3/4" | 6/A401 | 6/A401 | | 6 |
| 227A | 3'-0" x 6'-4" | 1 | WD | | | 1 | HM | 5 3/4" | 6/A401 | 6/A401 | | 4 |
| 227B | 2'-0" x 6'-4" | 1 | WD | | | 1 | HM | 5 3/4" | 6/A401 | 6/A401 | | 4 |
| 228 | 3'-0" x 6'-8" | 1 | WD | | | 1 | HM | 5 3/4" | 6/A401 | 6/A401 | | 6 |
| 228A | 3'-0" x 6'-4" | 1 | WD | | | 1 | HM | 5 3/4" | 6/A401 | 6/A401 | | 4 |
| 230A | 8'-0" x 7'-0" | 5 | STL | | | | STL | 0" | | | | 3 |
| 230B | 3'-0" x 6'-8" | 1 | HM | | | 1 | HM | 5 3/4" | 6/A401 | 6/A401 | | |

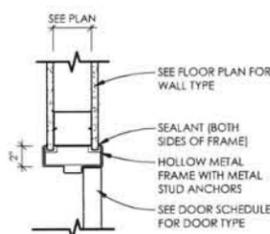


JAMB DETAIL 9
SCALE: 1 1/2" = 1'-0" A 401

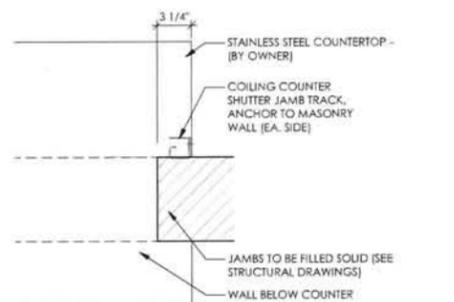
COILING COUNTER DOOR HEAD 8
SCALE: 1 1/2" = 1'-0" A 401



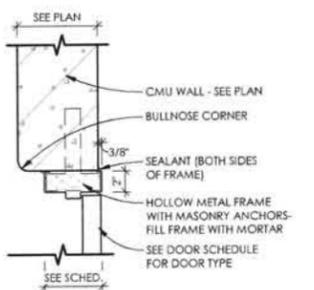
HEAD DETAIL 7
SCALE: 1 1/2" = 1'-0" A 401



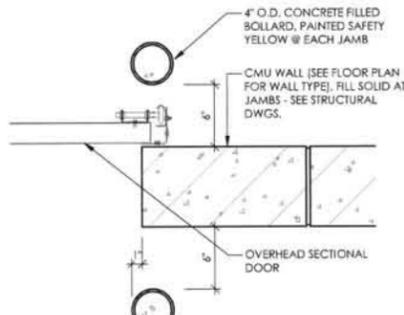
HEAD DETAIL 6
SCALE: 1 1/2" = 1'-0" A 401



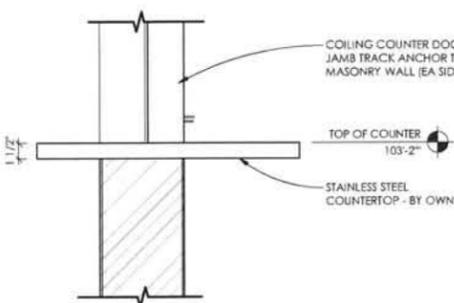
COILING COUNTER DOOR JAMB 5
SCALE: 1 1/2" = 1'-0" A 401



JAMB DETAIL 4
SCALE: 1 1/2" = 1'-0" A 401



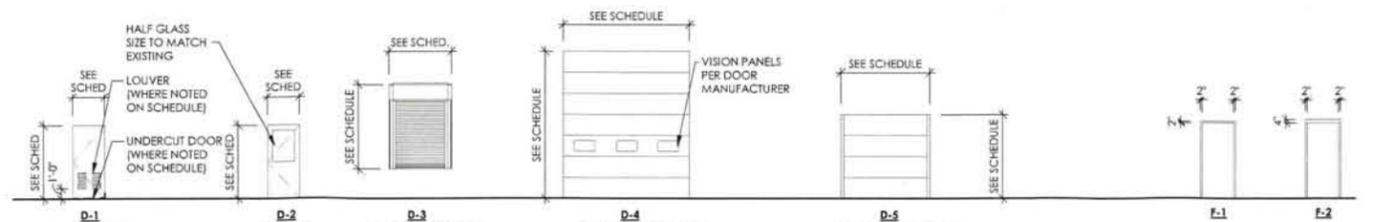
JAMB DETAIL 3
SCALE: 1 1/2" = 1'-0" A 401



COILING COUNTER DOOR SILL 2
SCALE: 1 1/2" = 1'-0" A 401

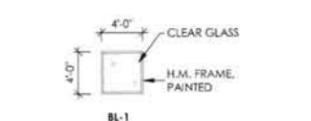
| NO. | DESCRIPTION |
|-----|---|
| 1 | INSULATED EXTERIOR DOOR |
| 2 | OVER HEAD DOOR, INSULATED WITH TRACK AND HARDWARE TO BE PROVIDED BY DOOR SUPPLIER |
| 3 | OVER HEAD SECTIONAL DOOR WITH TRACK AND HARDWARE PROVIDED BY DOOR SUPPLIER. |
| 4 | TOILET PARTITION DOOR, HOLD 4" ABOVE FINISH FLOOR. |
| 5 | PROVIDE LOUVER IN DOOR (SEE MECHANICAL DRAWINGS FOR SIZE) PAINT TO MATCH DOOR |
| 6 | UNDERCUT DOOR 1" |
| 7 | OVER HEAD SHUTTER COUNTER DOOR WITH FASCIA TRIM AT HOOD. VERIFY DOOR SIZE IN FIELD PRIOR TO ORDERING. |
| 8 | ELEVATOR PIT DOOR - COORDINATE WITH ELEVATOR MANUFACTURE FOR REQUIRED CLEARANCE & HARDWARE. |
| 9 | OVER HEAD DOOR, INSULATED. TRACK AND HARDWARE TO BE PROVIDED BY DOOR MANUFACTURER |

| BORROWED LITE NO. | BORROWED LITE SIZE | ELEV. | MAT'L | GLASS TYPE | FRAME DEPTH | DETAILS | | | FIRE RATING | REMARKS |
|-------------------|--------------------|-------|-------|------------|-------------|---------|------|------|-------------|---------|
| | | | | | | HEAD | JAMB | SILL | | |
| BL-01 | 4'-0" x 4'-0" | BL-1 | HM | 3 | 5 3/4" | | | | | |
| BL-02 | 4'-0" x 4'-0" | BL-1 | HM | 3 | 5 3/4" | | | | | |

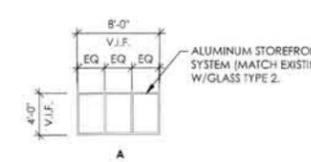


DOOR TYPE LEGEND
SCALE: 1/8" = 1'-0"

FRAME TYPE LEGEND
SCALE: 1/8" = 1'-0"

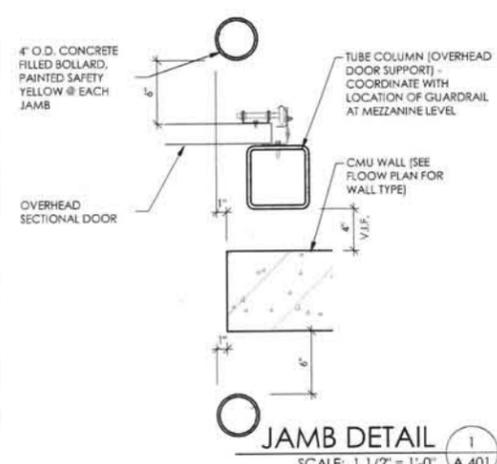


BORROWED LITE LEGEND



WINDOW TYPE LEGEND

| GLASS TYPES | |
|-------------|------------------------------|
| 1 | 1" TEMPERED INSULATING GLASS |
| 2 | 1" INSULATING GLASS |
| 3 | 1/4" TEMPERED FLOAT GLASS |



JAMB DETAIL 1
SCALE: 1 1/2" = 1'-0" A 401

| BORROWED LITE SCHEDULE | | | | | | | | | | |
|------------------------|--------------------|-------|-------|------------|-------------|---------|------|------|-------------|---------|
| BORROWED LITE NO. | BORROWED LITE SIZE | ELEV. | MAT'L | GLASS TYPE | FRAME DEPTH | DETAILS | | | FIRE RATING | REMARKS |
| | | | | | | HEAD | JAMB | SILL | | |
| BL-01 | 4'-0" x 4'-0" | BL-1 | HM | 3 | 5 3/4" | | | | | |
| BL-02 | 4'-0" x 4'-0" | BL-1 | HM | 3 | 5 3/4" | | | | | |

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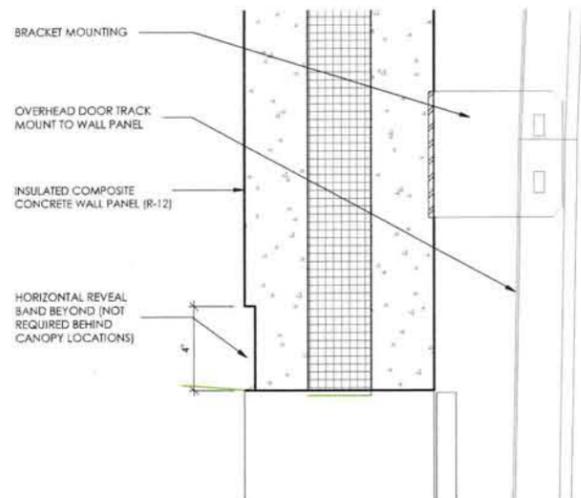
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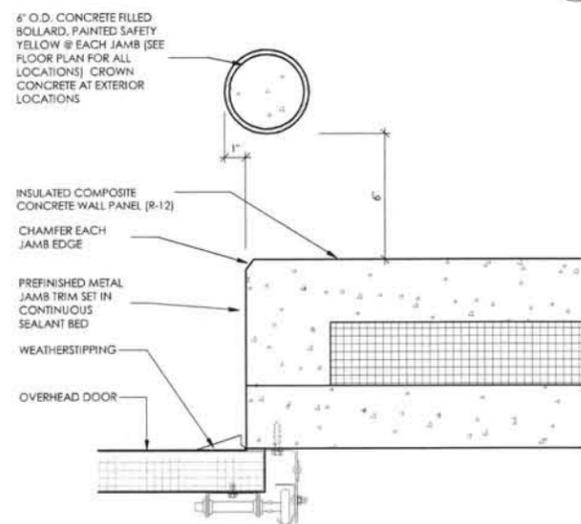
DRAWN BY: CJR
CHECKED BY: KK

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402

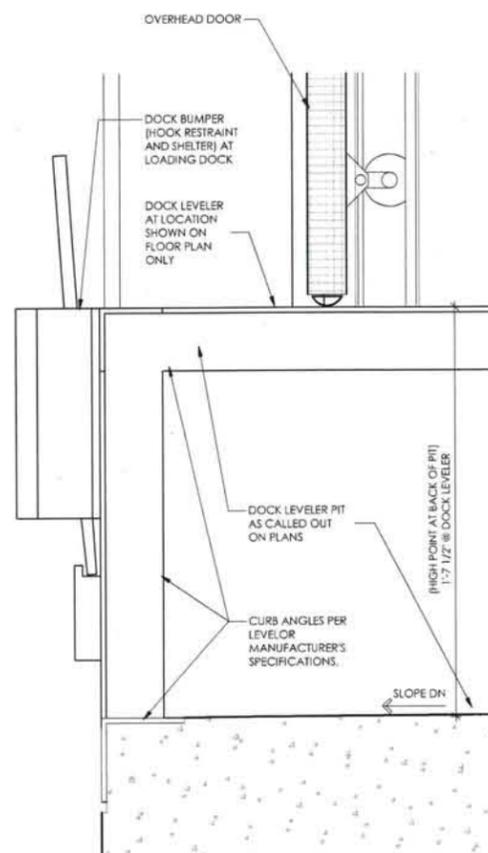
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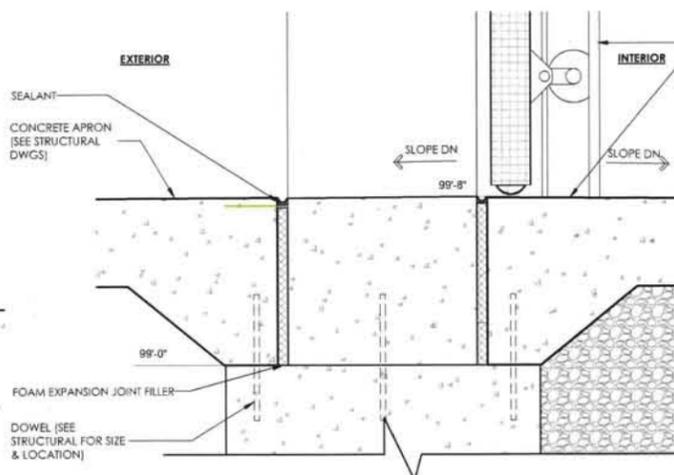
OH DOOR HEAD 10
SCALE: 3" = 1'-0" A 402



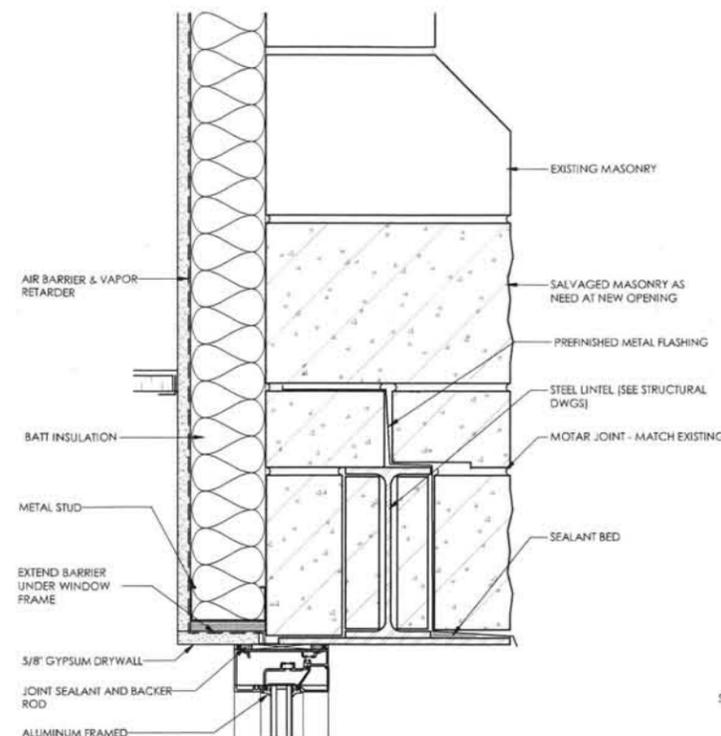
OH DOOR JAMB 7
SCALE: 3" = 1'-0" A 402



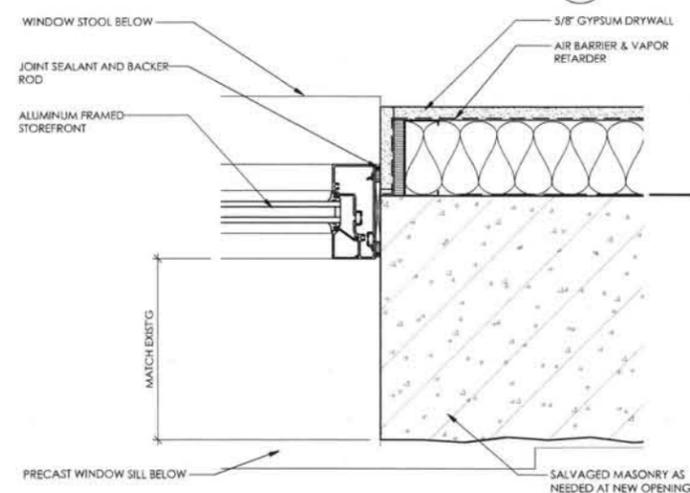
OH DOOR SILL @ DOCK 4
SCALE: 3" = 1'-0" A 402



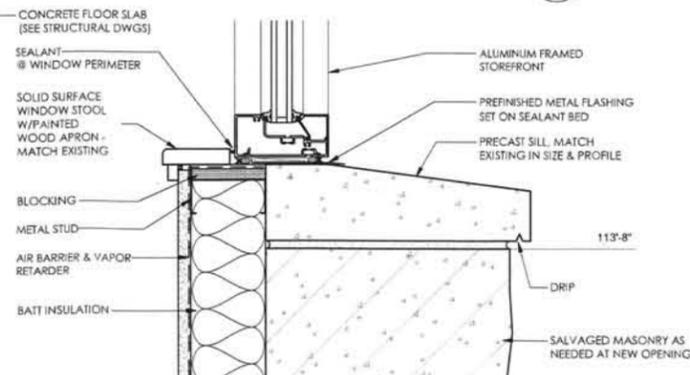
OH DOOR SILL 3
SCALE: 3" = 1'-0" A 402



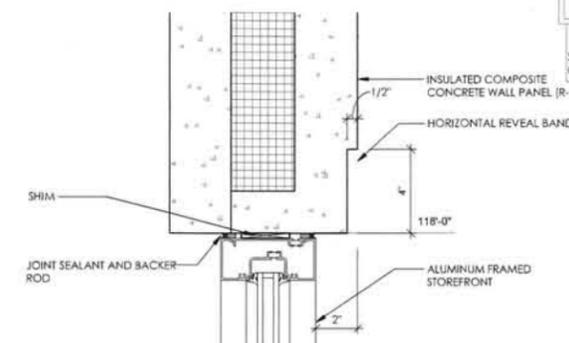
WINDOW HEAD @ MASONRY 9
SCALE: 3" = 1'-0" A 402



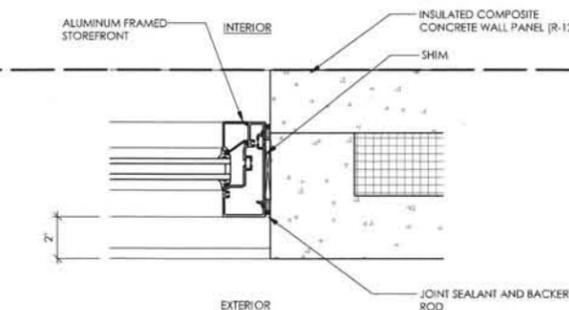
WINDOW JAMB @ MASONRY 6
SCALE: 3" = 1'-0" A 402



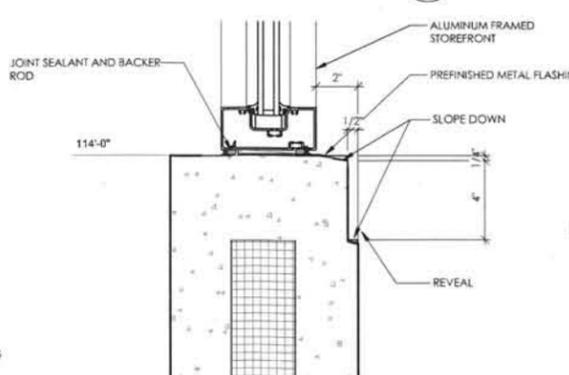
WINDOW SILL @ MASONRY 2
SCALE: 3" = 1'-0" A 402



WINDOW HEAD @ PRECAST 8
SCALE: 3" = 1'-0" A 402



WINDOW JAMB @ PRECAST 5
SCALE: 3" = 1'-0" A 402



WINDOW SILL @ PRECAST 1
SCALE: 3" = 1'-0" A 402

| ROOM FINISH LEGEND | |
|--------------------|--------------------------------------|
| KEY | DESCRIPTION |
| ACT-1 | ACOUSTIC CEILING TILE - 24" x 24" |
| ACT-2 | VINYL FACED GYPSUM BOARD - 24" x 24" |
| CMU | CONCRETE MASONRY UNIT |
| CONC. | CONCRETE |
| CPT | CARPET |
| DFP | DRYFALL PAINT |
| EX | EXISTING FINISH |
| EX | EXPOSED STRUCTURE |
| GYP | GYPSUM BOARD |
| HM | HOLLOW METAL |
| P- | PAINT FINISH |
| PT | PORCELAIN TILE |
| PTB | PORCELAIN TILE BASE |
| SC | SEALED CONCRETE |
| VB | VINYL BASE |
| VCT | VINYL COMPOSITION TILE |
| WD | WOOD |

| ROOM FINISH SCHEDULE | | | | | | | | | |
|----------------------|------------------|-------|------------------------|-------|------|-------|---------|----------------|---------|
| ROOM | | | WALL FINISH / MATERIAL | | | | CEILING | CEILING HEIGHT | REMARKS |
| NO. | NAME | FLOOR | BASE | NORTH | EAST | SOUTH | | | |
| 150 | PRODUCTION | SC | - | P | P | P | P | DFP | - |
| 150A | PRODUCTION | SC | - | P | P | P | P | DFP | - |
| 151 | PARTS DEPARTMENT | SC | - | P | P | P | P | DFP | - |
| 152 | MEN | SC | - | P | P | P | P | PT- | 10'-2" |
| 153 | WOMEN | SC | - | P | P | P | P | PT- | 10'-2" |
| 154 | MECH. | SC | - | - | - | - | - | - | 10'-2" |
| 155 | OFFICE | SC | - | P | P | P | P | PT- | 10'-2" |
| 156 | OFFICE | SC | - | P | P | P | P | PT- | 10'-2" |
| 157 | ELECTRICAL AREA | SC | - | P | P | P | P | PT- | 10'-2" |
| 225 | OPEN OFFICE | CPT-1 | VB | P | P | P | P | ACT-1 | 8'-0" |
| 226 | CONFERENCE ROOM | CPT-1 | VB | P | P | P | P | ACT-1 | 8'-0" |
| 227 | WOMEN | PT-1 | PT-2 | PT-2 | PT-2 | PT-2 | PT-2 | GYP | 8'-0" |
| 228 | MEN | PT-1 | PT-2 | PT-2 | PT-2 | PT-2 | PT-2 | GYP | 8'-0" |
| 229 | STORAGE | SC | - | P | - | - | P | DFP | - |
| 230 | PARTS STORAGE | SC | - | P | - | - | - | DFP | - |

| ROOM FINISH REMARKS | |
|---------------------|-------------|
| NO. | DESCRIPTION |
| | |

| COLOR AND MATERIAL LEGEND | | | | |
|---------------------------|-----------|---------|--------------|-------|
| CODE | AREA USED | PRODUCT | MANUFACTURER | COLOR |
| | | | | |



REVISIONS:

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CHECKED BY: KK

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501

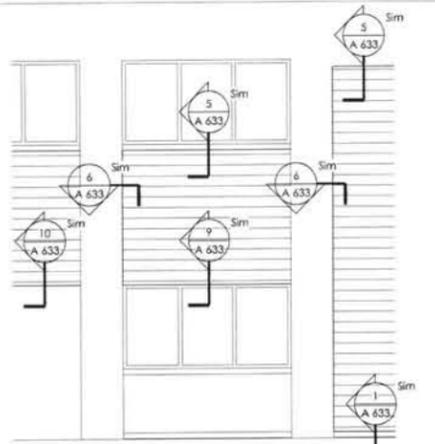
PROJ. NO. 2016-91

GENERAL EXTERIOR ELEVATION NOTES

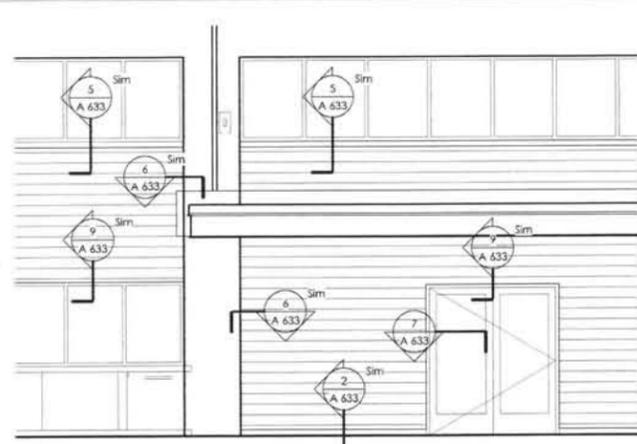
- ALL EXPOSED MISC. EXTERIOR STEEL SHALL BE PAINTED WITH PAINT FINISH.
- MASONRY COURSING SHOWN FOR MATERIAL REPRESENTATION ONLY. ACTUAL COURSING MAY VARY.

ELEVATION KEYNOTES

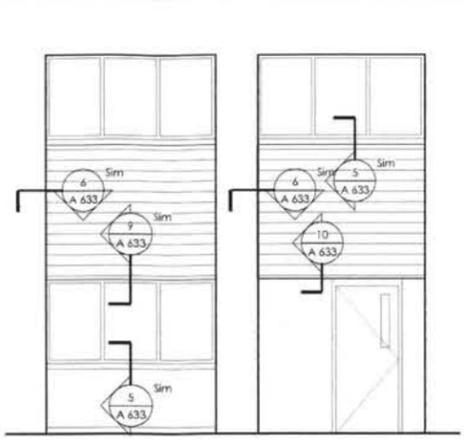
| NO. | DESCRIPTION |
|-----|--|
| 1 | INFILL OPENING AFTER DEMOLITION OF EXISTING DOOR WITH CONSTRUCTION TO MATCH ADJACENT CONSTRUCTION. USE SALVAGED AND UNDAMAGED MASONRY, KEY IN MASONRY AS REQUIRED. |
| 2 | PROVIDE NEW OPENING FOR NEW WINDOW |
| 3 | NEW ENTRANCE CANOPY |
| 4 | COPING |
| 5 | HORIZONTAL REVEAL (SEE DETAIL) |
| 6 | VERTICAL PANEL JOINT (SEE DETAIL) |
| 7 | SERVICE CANOPY |
| 9 | RETAINING WALL (SEE STRUCTURAL DWGS.) MINIMUM 42" ABOVE GRADE AT HIGHEST POINT. |
| 10 | DOCK SHELTER |
| 11 | DOCK BUMPER |
| 12 | INSULATED CONCRETE COMPOSITE WALL PANEL |
| 13 | EXISTING MASONRY BLOCK WALL CONSTRUCTION |
| 14 | SURFACE MOUNTED VEHICLE RESTRAINT |
| 15 | NEW PREFINISHED METAL SIDING |



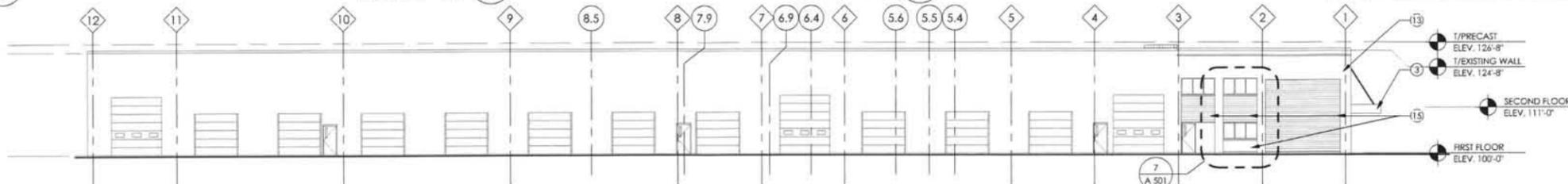
ENLARGED ELEVATION NORTH
SCALE: 1/4" = 1'-0" A 501



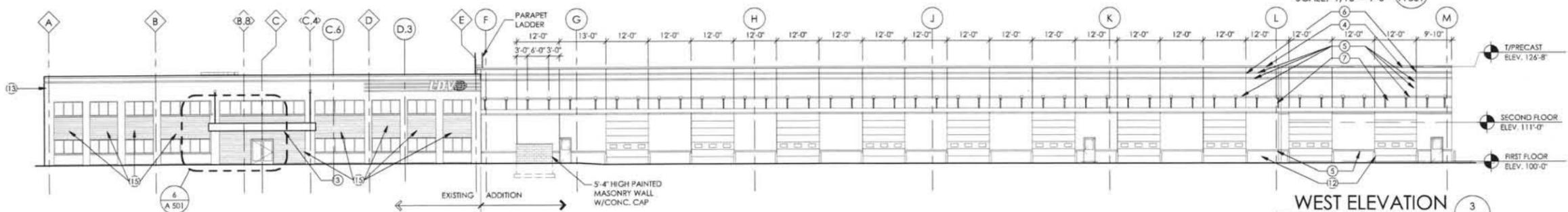
ENLARGED ELEVATION WEST
SCALE: 1/4" = 1'-0" A 501



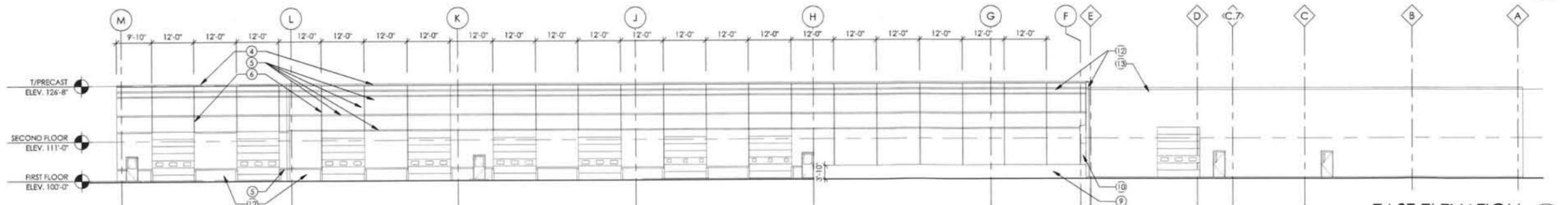
ENLARGED ELEVATION SOUTH
SCALE: 1/4" = 1'-0" A 501



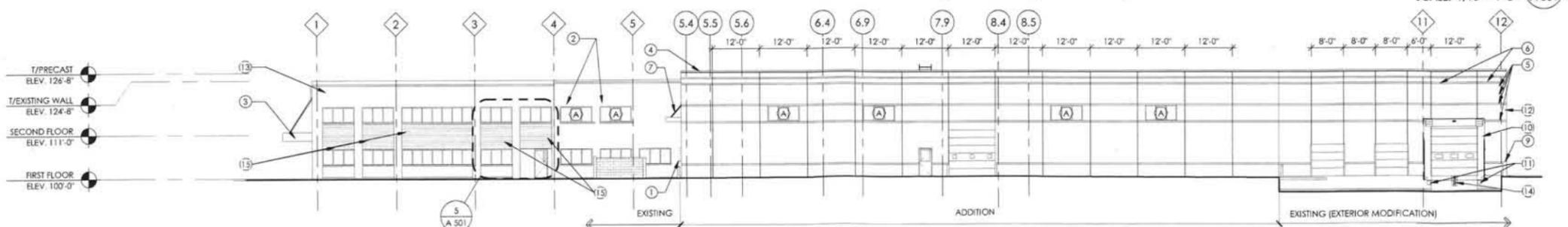
NORTH ELEVATION
SCALE: 1/16" = 1'-0" A 501



WEST ELEVATION
SCALE: 1/16" = 1'-0" A 501



EAST ELEVATION
SCALE: 1/16" = 1'-0" A 501



SOUTH ELEVATION
SCALE: 1/16" = 1'-0" A 501

REVISIONS:

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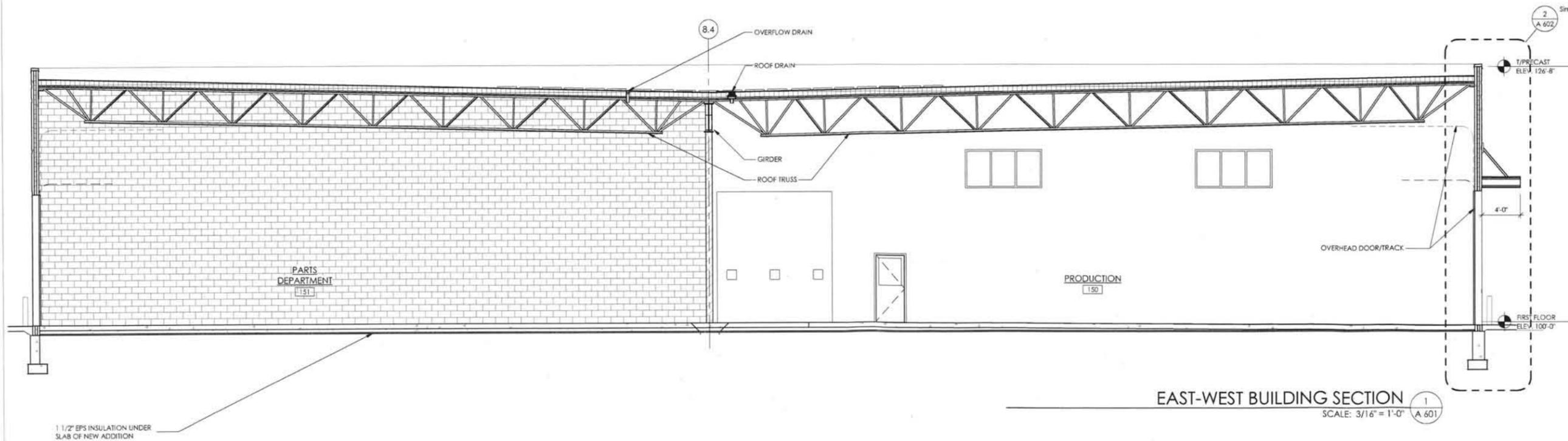
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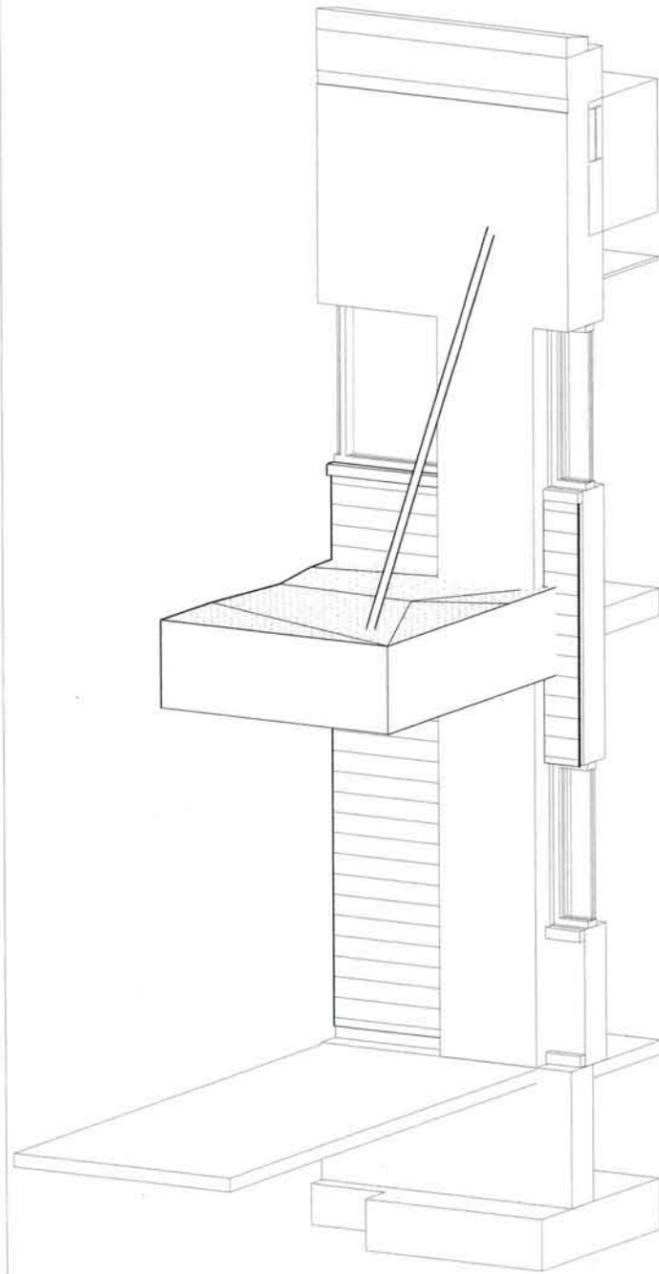
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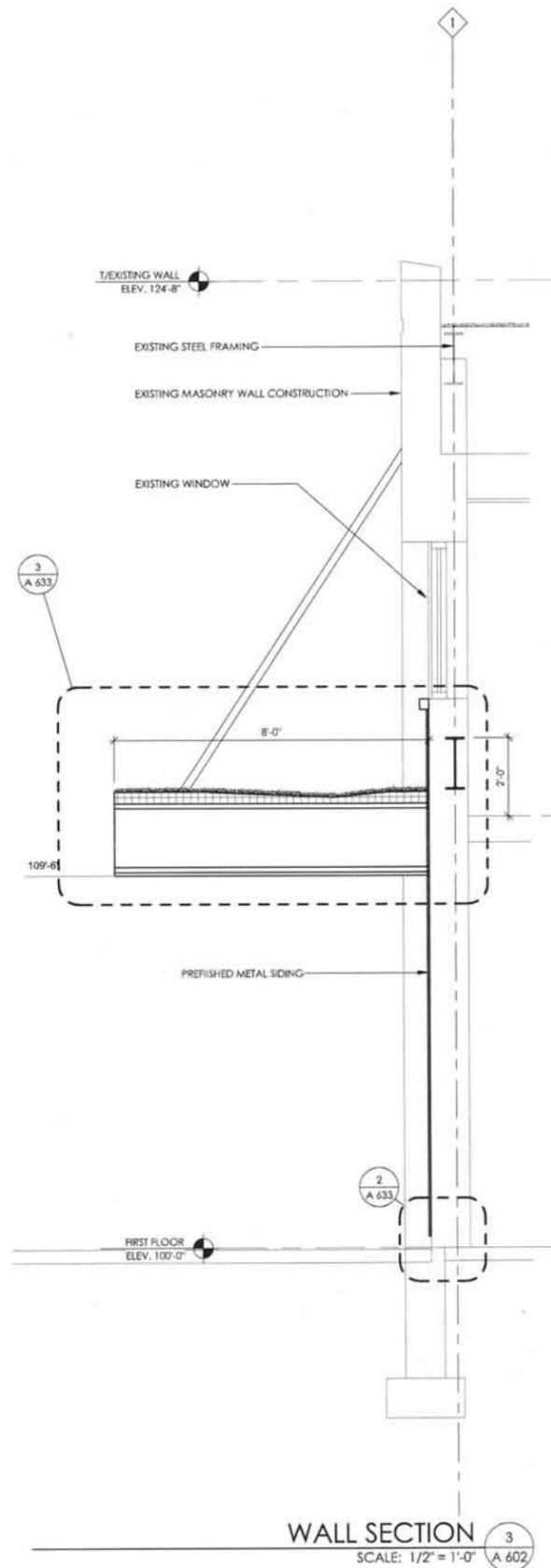
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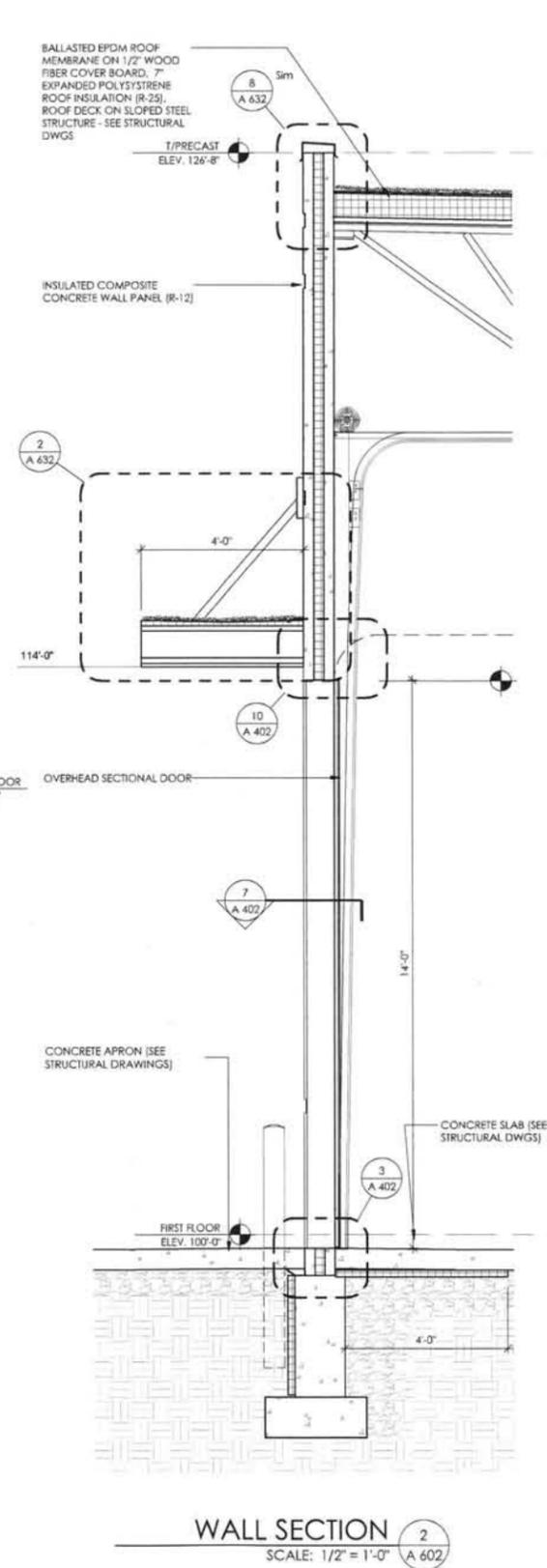
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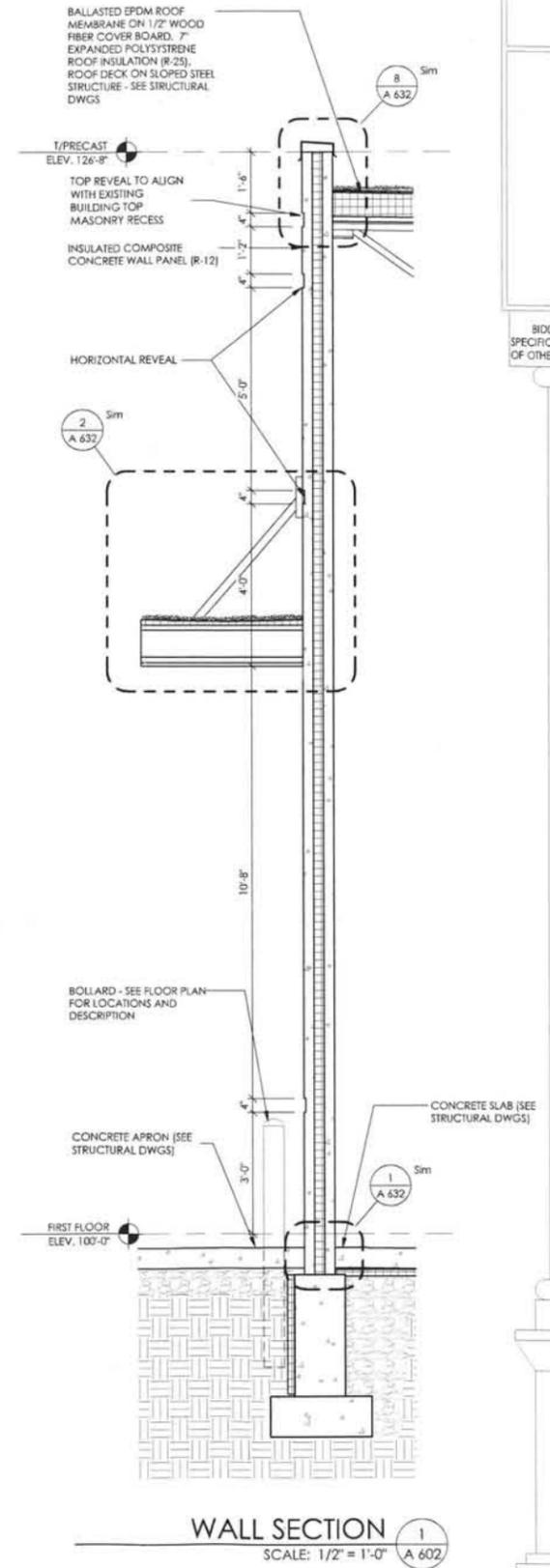
3D VIEW ENTRY CANOPY
SCALE: 1/4" = 1'-0" A 602



WALL SECTION 3
SCALE: 1/2" = 1'-0" A 602



WALL SECTION 2
SCALE: 1/2" = 1'-0" A 602



WALL SECTION 1
SCALE: 1/2" = 1'-0" A 602

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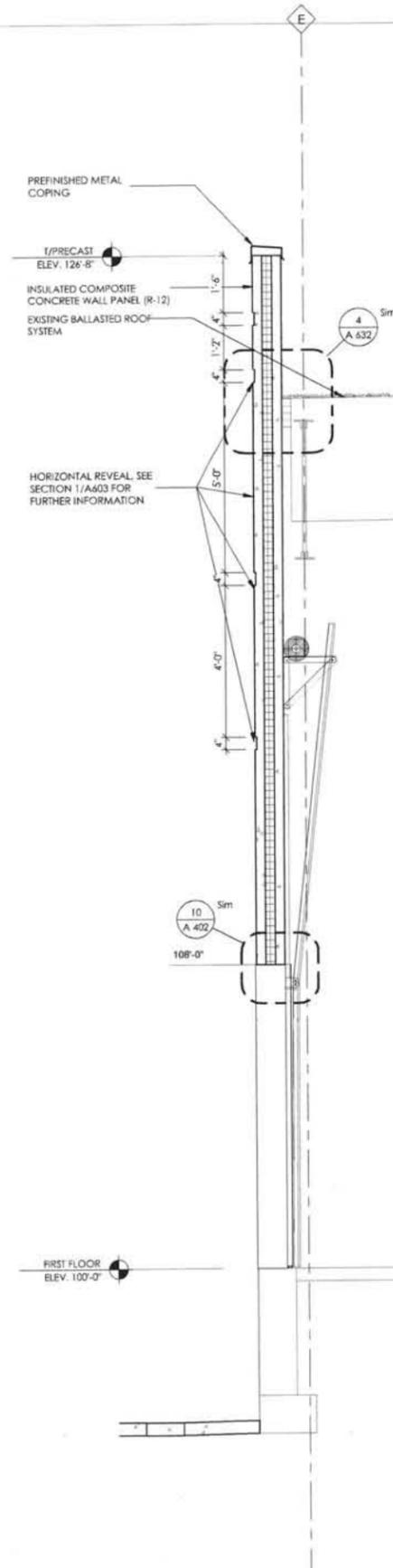
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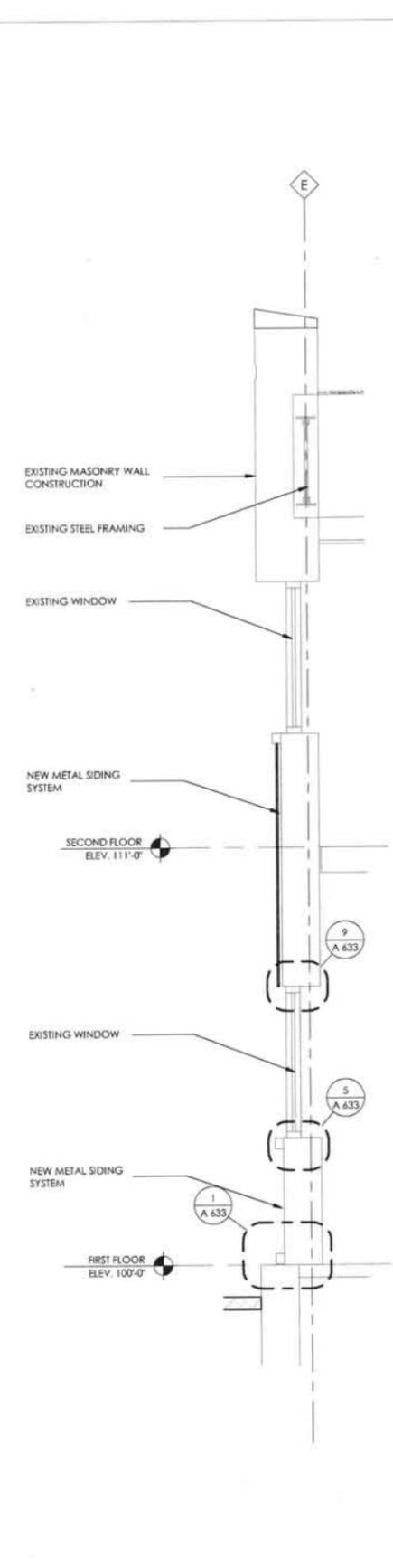
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603

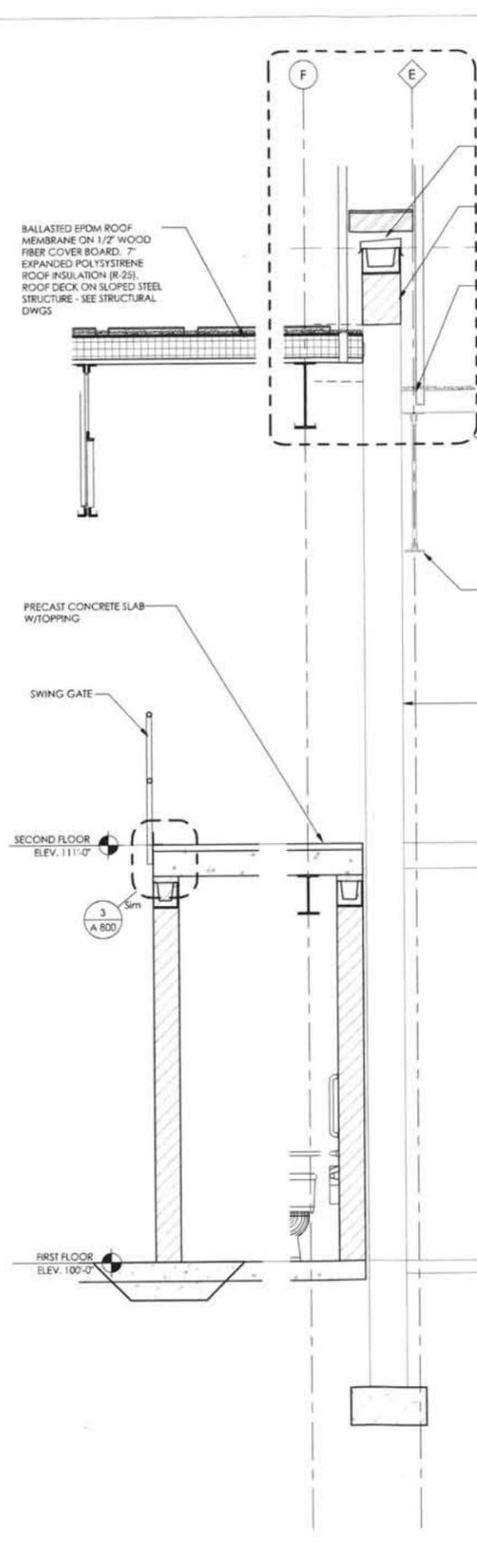
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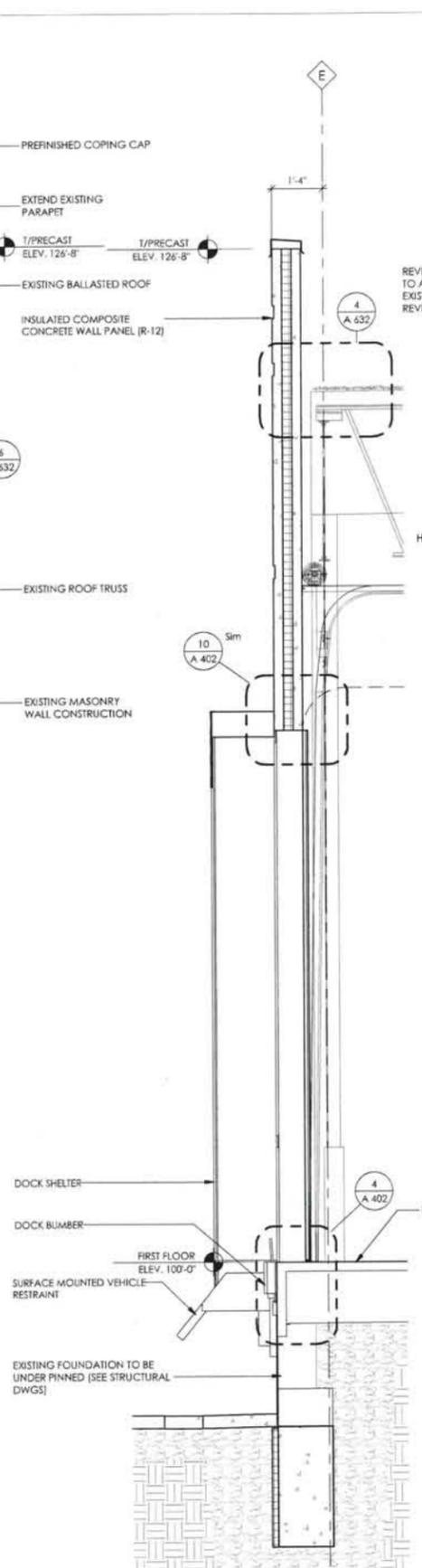
WALL SECTION @ COMPACTOR PIT 5
SCALE: 1/2" = 1'-0" A 603



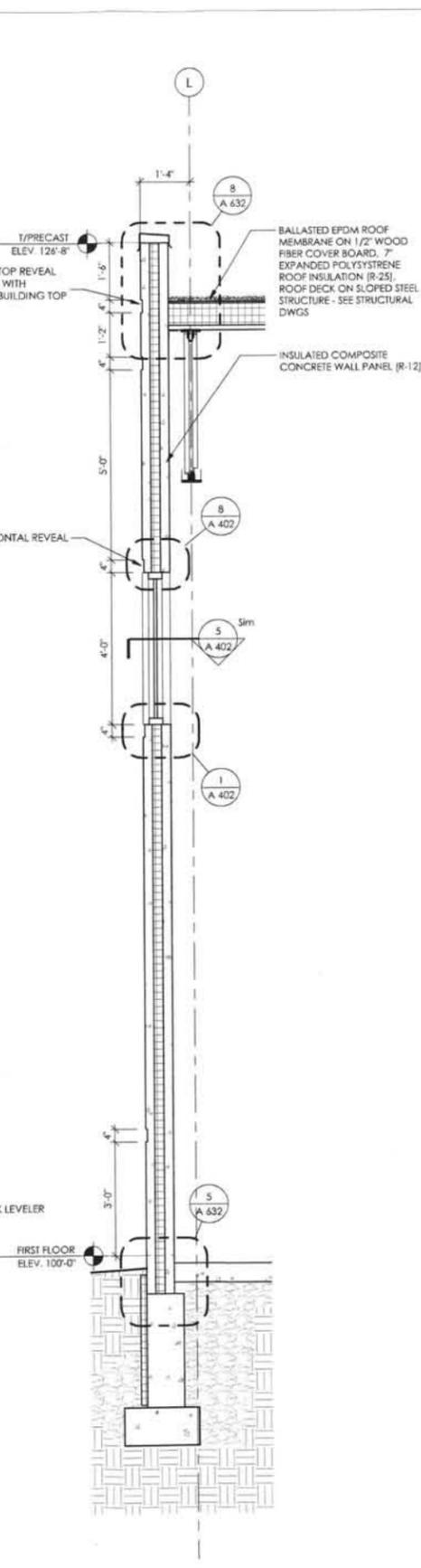
EXISTING 4
SCALE: 1/2" = 1'-0" A 603



WALL SECTION @ EXISTING 3
SCALE: 1/2" = 1'-0" A 603



WALL SECTION @ LOADING DOCK 2
SCALE: 1/2" = 1'-0" A 603



WALL SECTION - SOUTH 1
SCALE: 1/2" = 1'-0" A 603

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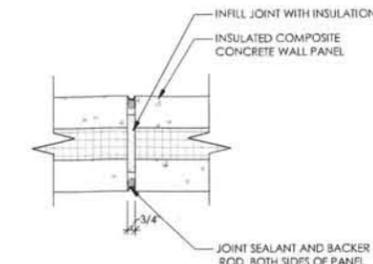
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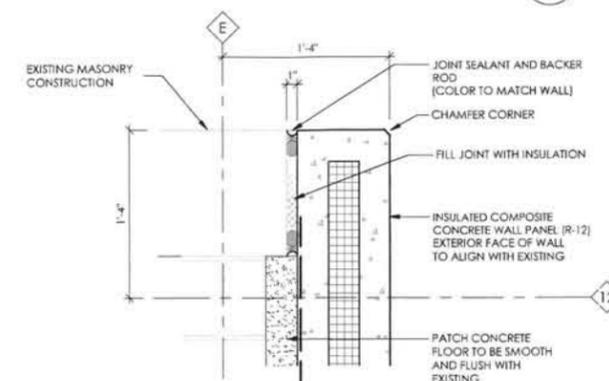
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631

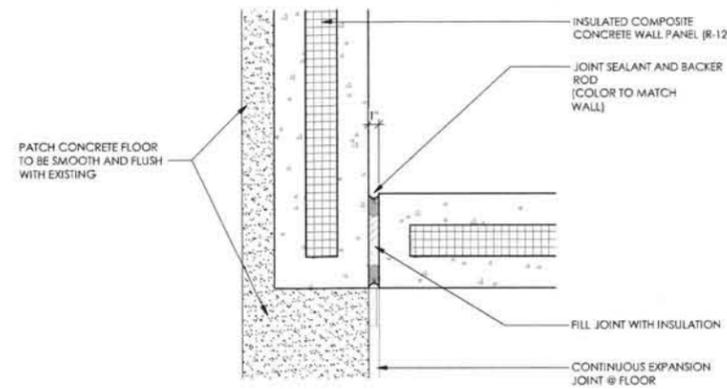
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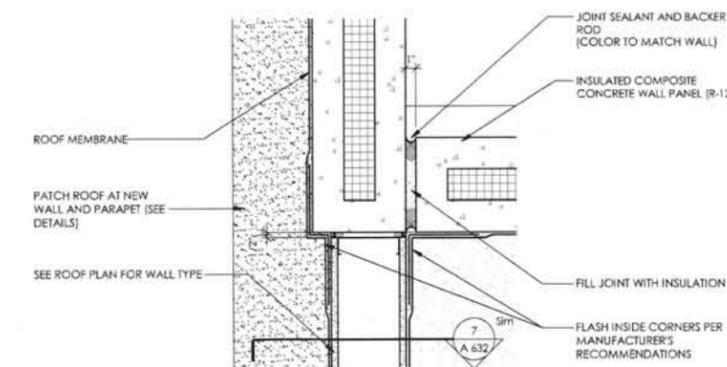
PLAN DETAIL @ PANEL JOINT 13
SCALE: 1 1/2" = 1'-0" A 631



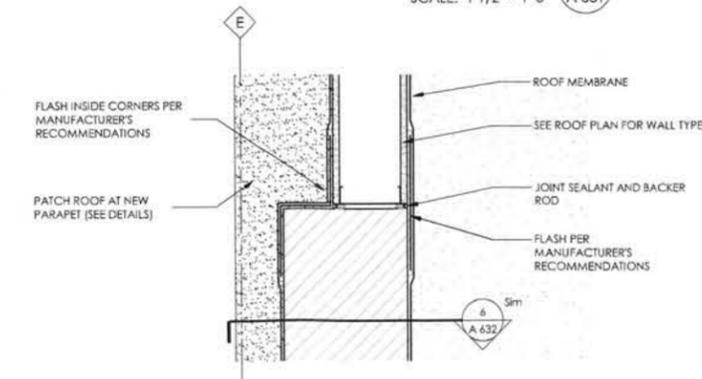
PLAN DETAIL @ SE CORNER 9
SCALE: 1 1/2" = 1'-0" A 631



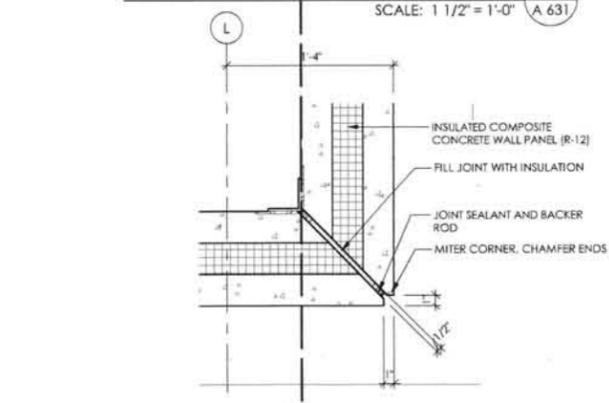
PLAN DETAIL @ EXPANSION JT 10
SCALE: 1 1/2" = 1'-0" A 631



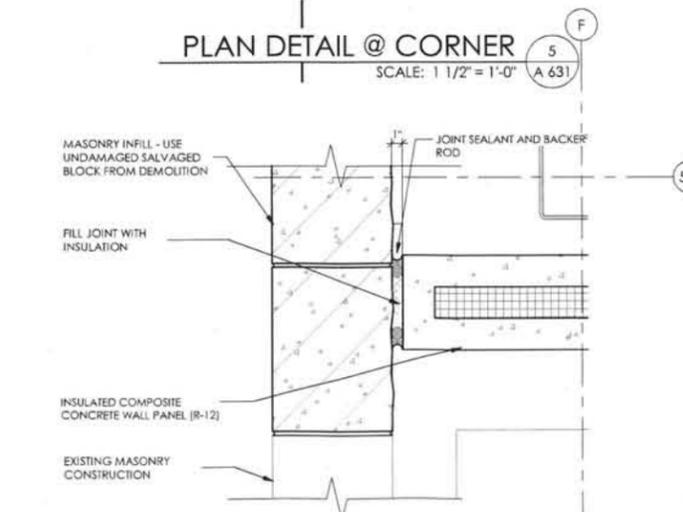
PLAN DETAIL ROOF @ PRECAST CORNER 6
SCALE: 1 1/2" = 1'-0" A 631



PLAN DETAIL ROOF @ CMU TO WOOD 2
SCALE: 1 1/2" = 1'-0" A 631



PLAN DETAIL @ CORNER 5
SCALE: 1 1/2" = 1'-0" A 631



PLAN DETAIL @ EXPANSION JT 1
SCALE: 1 1/2" = 1'-0" A 631

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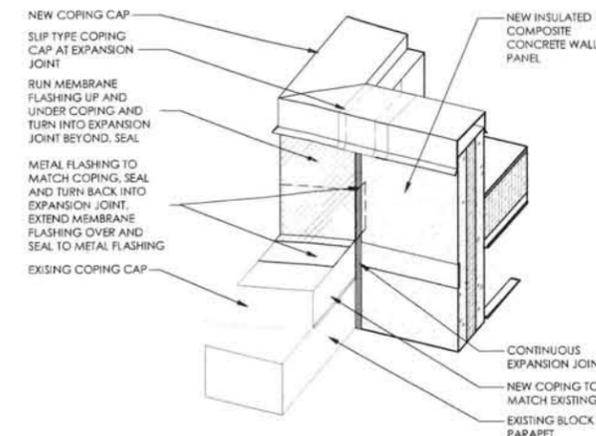
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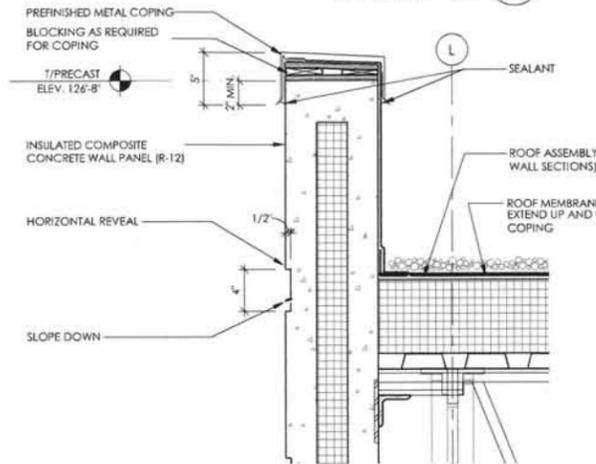
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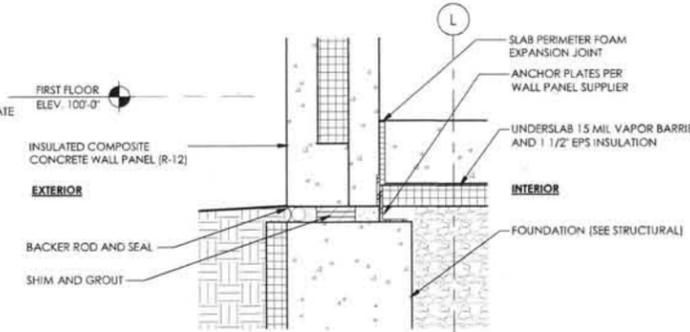
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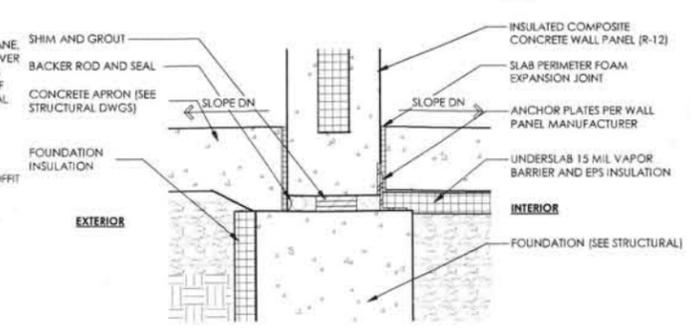
PARAPET TRANSITION 10
SCALE: 1 1/2" = 1'-0" A 632



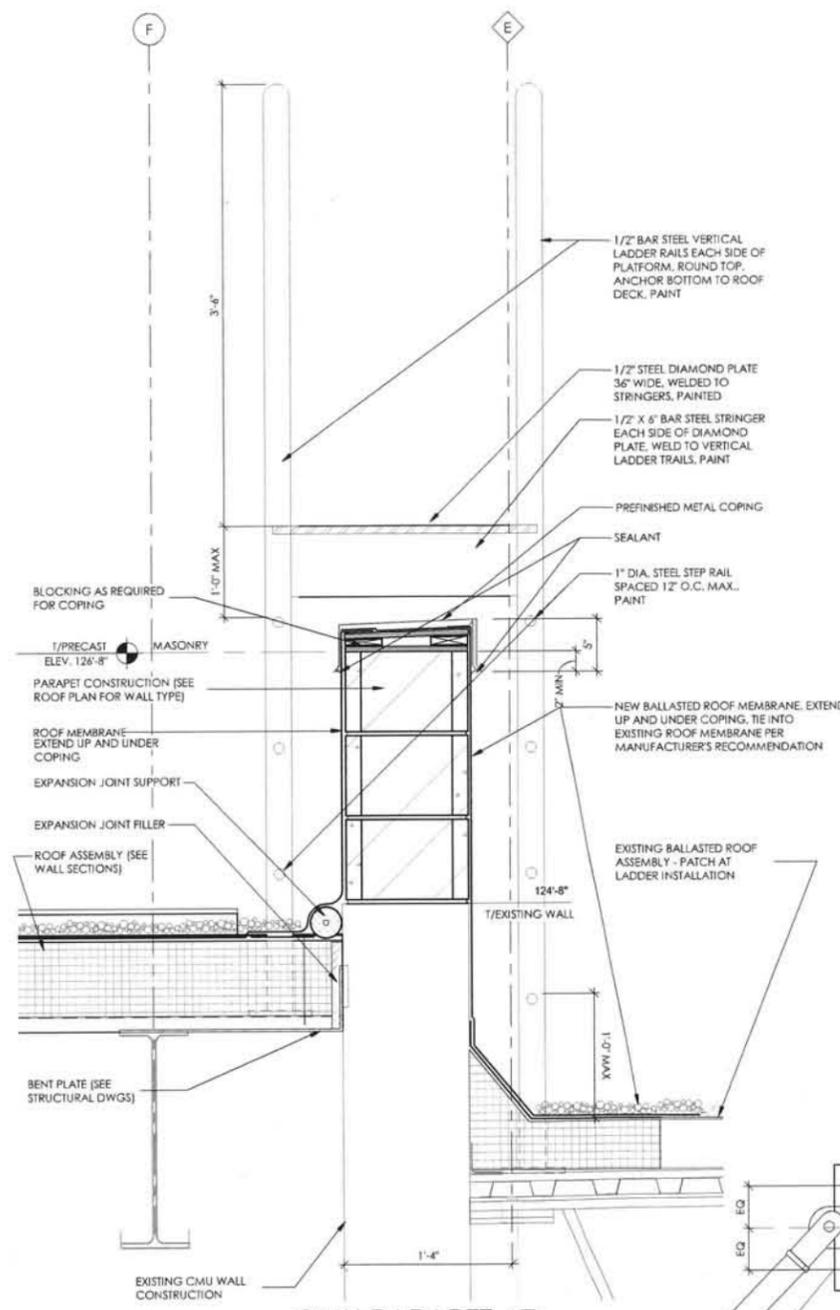
PRECAST PANEL PARAPET 8
SCALE: 1 1/2" = 1'-0" A 632



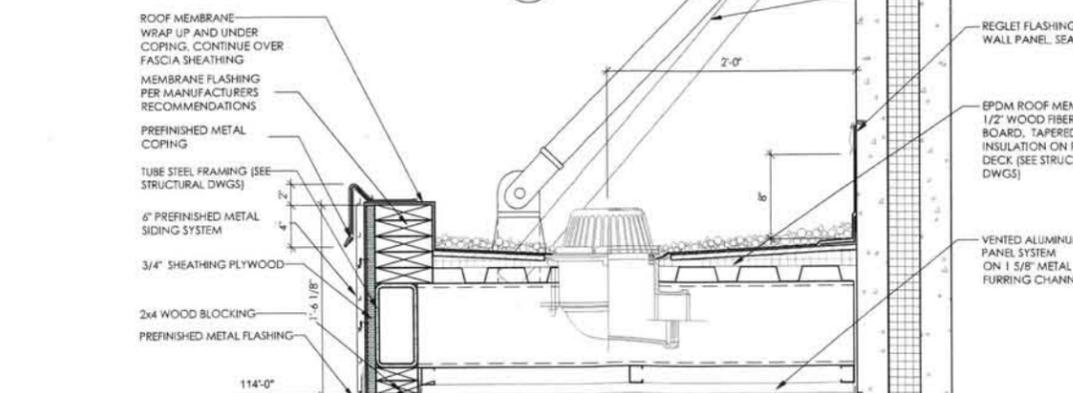
BASE @ PRECAST 5
SCALE: 1 1/2" = 1'-0" A 632



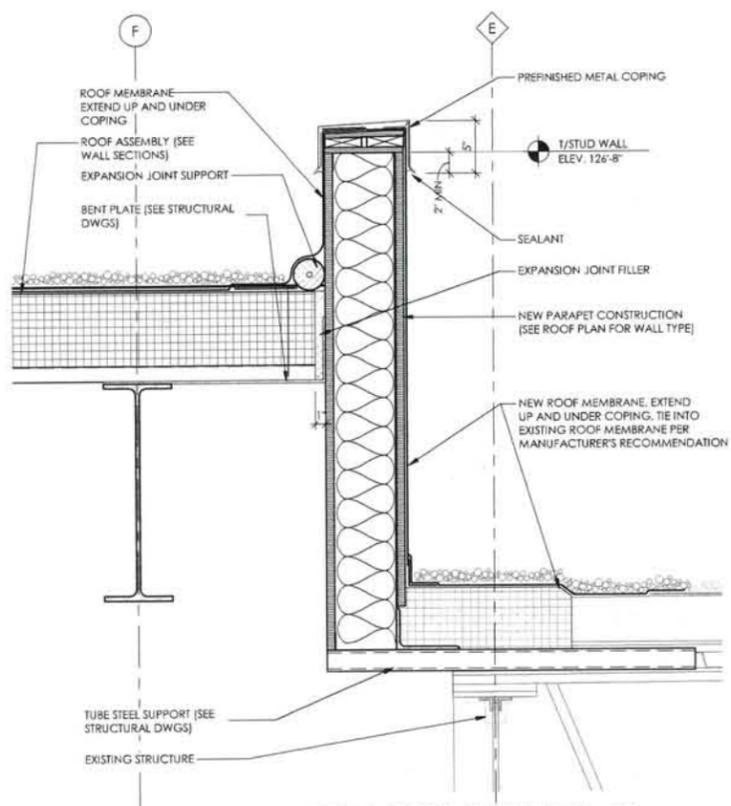
BASE @ PRECAST W/APRON 1
SCALE: 1 1/2" = 1'-0" A 632



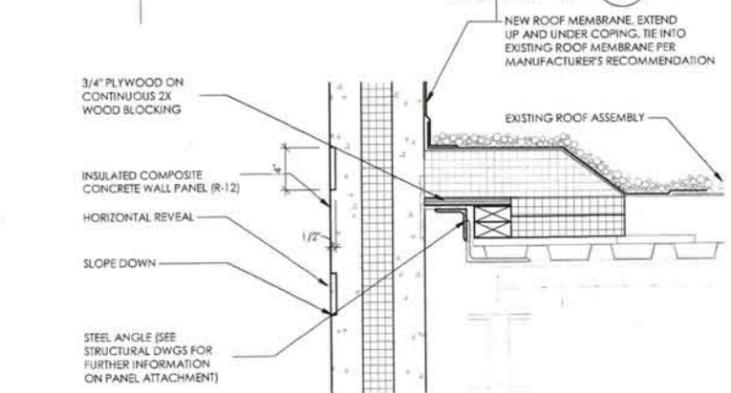
CMU PARAPET 6
SCALE: 1 1/2" = 1'-0" A 632



CANOPY @ ADDITION 2
SCALE: 1 1/2" = 1'-0" A 632



METAL STUD PARAPET 7
SCALE: 1 1/2" = 1'-0" A 632



NEW WALL @ EXISTING ROOF 4
SCALE: 1 1/2" = 1'-0" A 632

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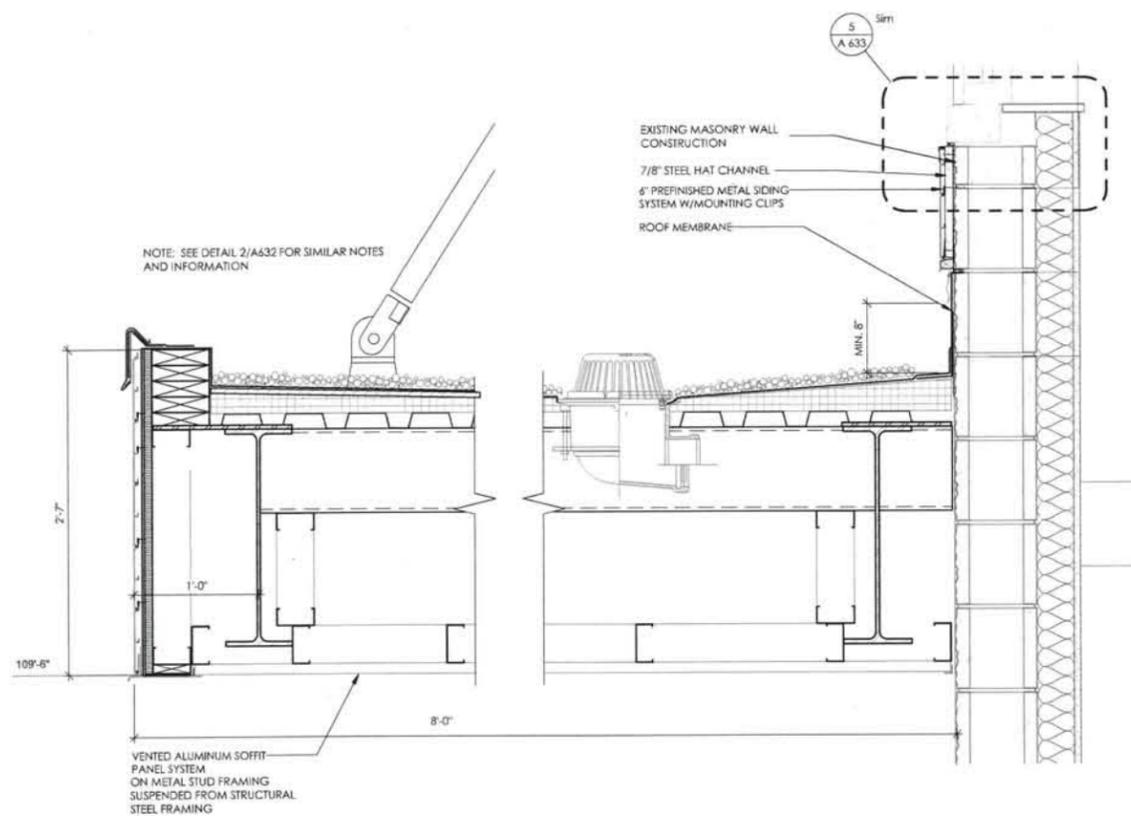
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DRAWN BY: CJR

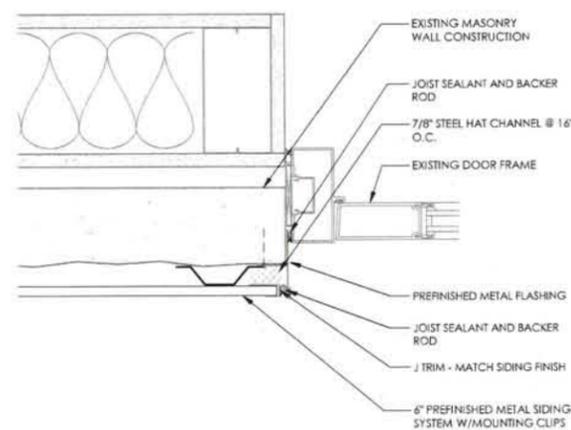
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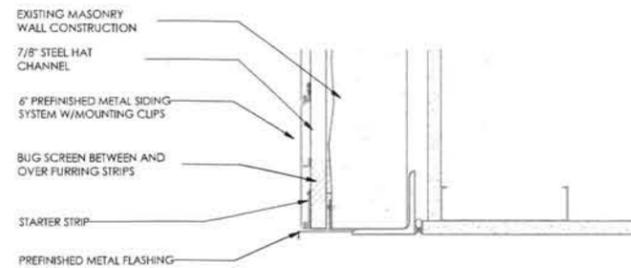
PROJ. NO. 2016-91



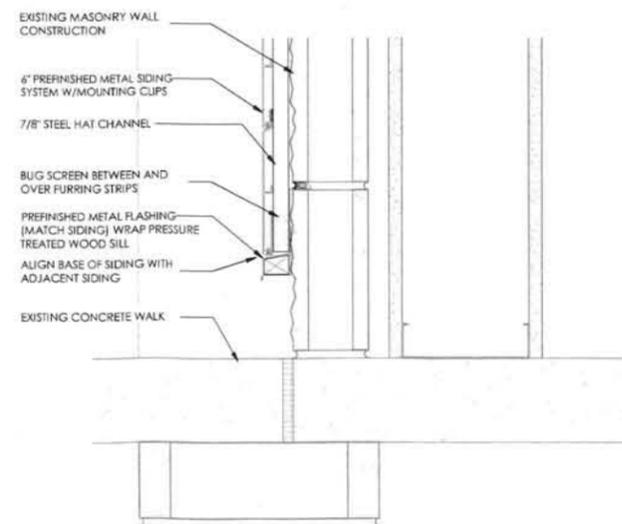
CANOPY @ MAIN ENTRY 3
SCALE: 1 1/2" = 1'-0" A 633



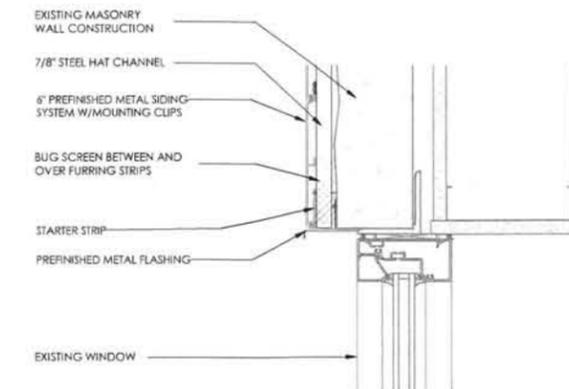
METAL PANEL @ DOOR JAMB 7
SCALE: 3" = 1'-0" A 633



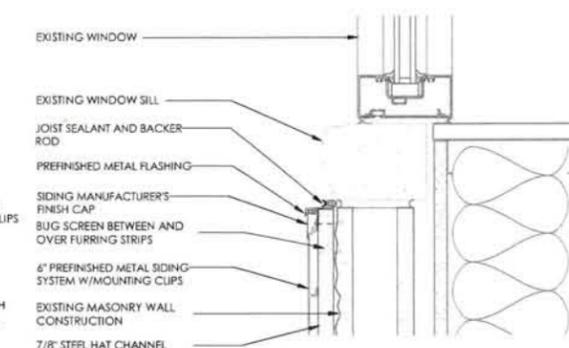
METAL PANEL @ EXISTING JAMB 6
SCALE: 3" = 1'-0" A 633



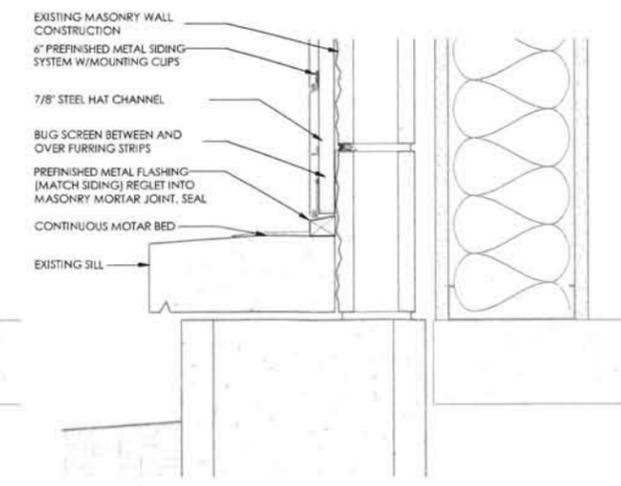
METAL PANEL @ SIDEWALK 2
SCALE: 3" = 1'-0" A 633



METAL PANEL @ EXIST'G WINDOW HEAD 9
SCALE: 3" = 1'-0" A 633



METAL PANEL @ EXIST'G WINDOW SILL 5
SCALE: 3" = 1'-0" A 633



METAL PANEL @ EXISTING SILL 1
SCALE: 3" = 1'-0" A 633



| ROOF SYMBOLS | |
|--------------|---|
| | TAPERED INSULATION (CRICKETS & SADDLES) |
| | SLOPED ROOF STRUCTURE |
| | TAPERED INSULATION SADDLE / EDGE STRIP/CRICKETS |
| | AREA DENOTING ALTERNATE |



REVISIONS:

NOTICE TO BIDDERS
 BIDDERS SHALL REVIEW ALL DRAWINGS AND SPECIFICATION SECTIONS TO DETERMINE THE IMPACT OF OTHER SECTIONS OF WORK ON THEIR OWN WORK.

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ROOF PLAN 1
 SCALE: 1/16" = 1'-0" A 701



GENERAL ROOF NOTES

- ROOF CONTRACTOR IS RESPONSIBLE FOR ROOF DRAINAGE INCLUDING TAPERED INSULATION LAYOUT, CRICKETS & SADDLES. SEE STRUCTURAL PLANS AND COORDINATE WITH PLUMBING, HVAC AND ELECTRICAL CONTRACTORS FOR ROOF TOP PENETRATIONS. PROVIDE WATER TIGHT INTEGRITY AT ALL ROOF PENETRATIONS AND EQUIPMENT PER FSR MANUFACTURERS REQUIREMENTS AND CURRENT NRCA STANDARDS.
- TAPERED INSULATION SLOPE TO BE 1/4" PER 1'-0" MINIMUM.
- SEE SPECIFICATIONS FOR FURTHER ALTERNATE(S) DESCRIPTION AND REQUIREMENTS.

ISSUE DATE: 1-27-17
 ADDITION & ALTERATIONS
LDV, INC.
 BURLINGTON, WISCONSIN
 1135A MICHIGAN AVE. SHEBOYGAN, WI 53081 (920) 452-4444 | 225 EAST ST. PAUL AVE. MILWAUKEE, WI 53202 (414) 837-6450

DRAWN BY: CJR
 CHECKED BY: KK

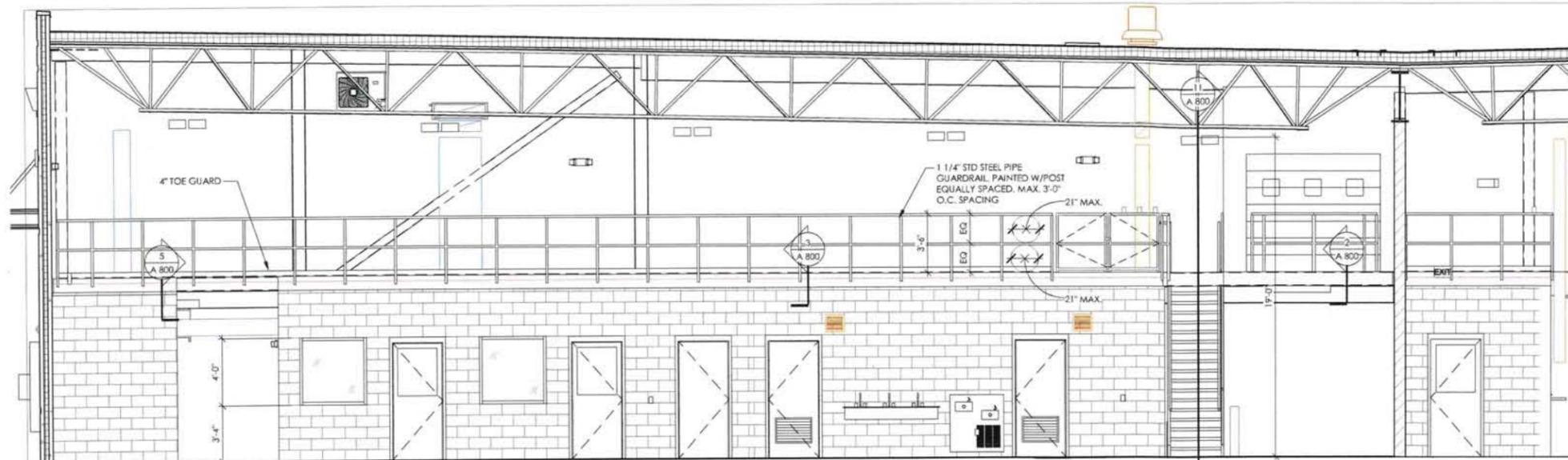
A
701

PROJ. NO. 2016-91

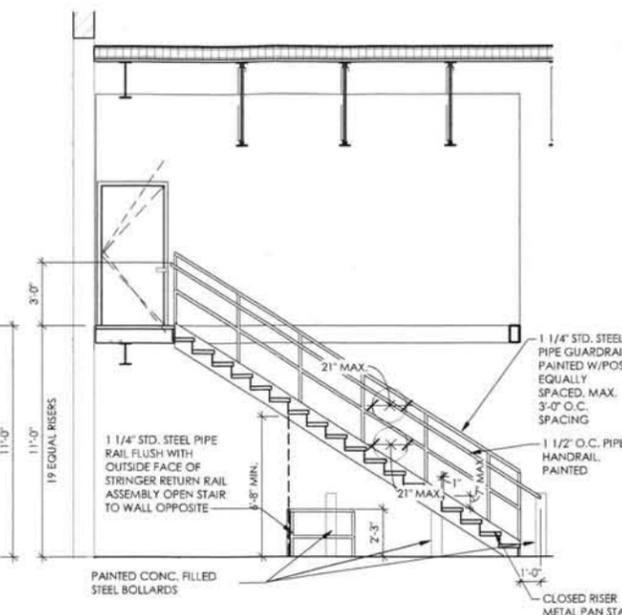
REVISIONS:

NOTICE TO BIDDERS
BIDDERS SHALL REVIEW ALL DRAWINGS AND SPECIFICATION SECTIONS TO DETERMINE THE IMPACT OF OTHER SECTIONS OF WORK ON THEIR OWN WORK.

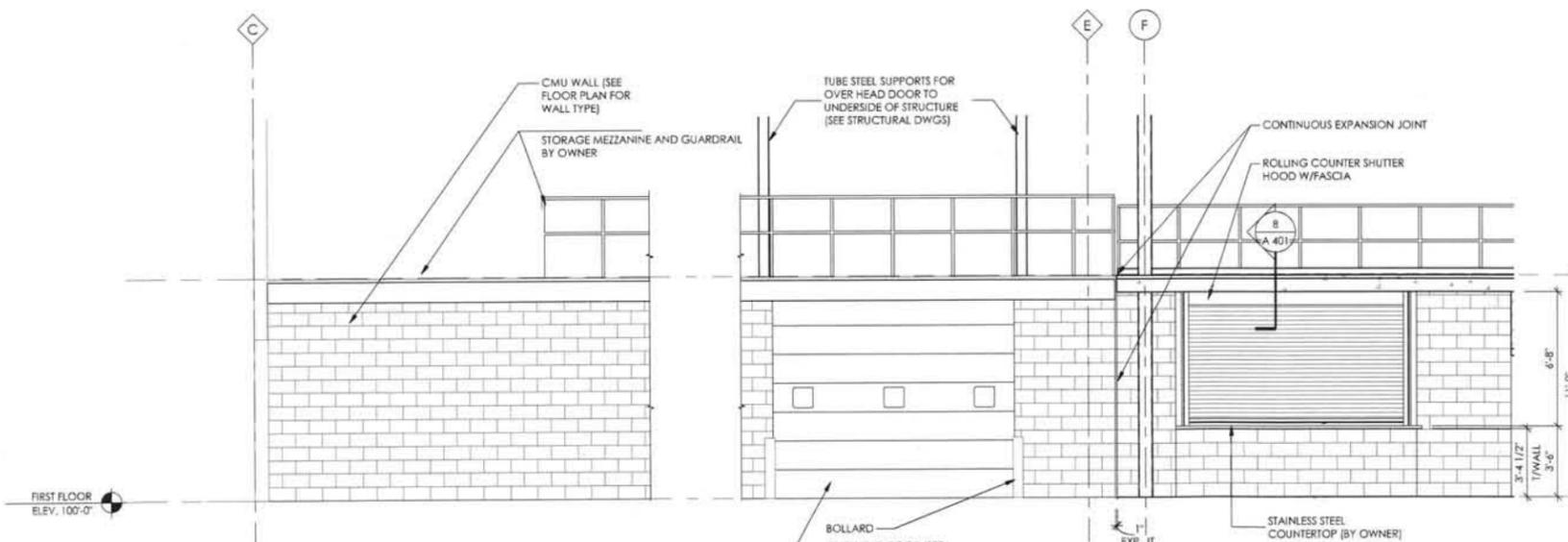
© 2017 ABACUS ARCHITECTS, INC.



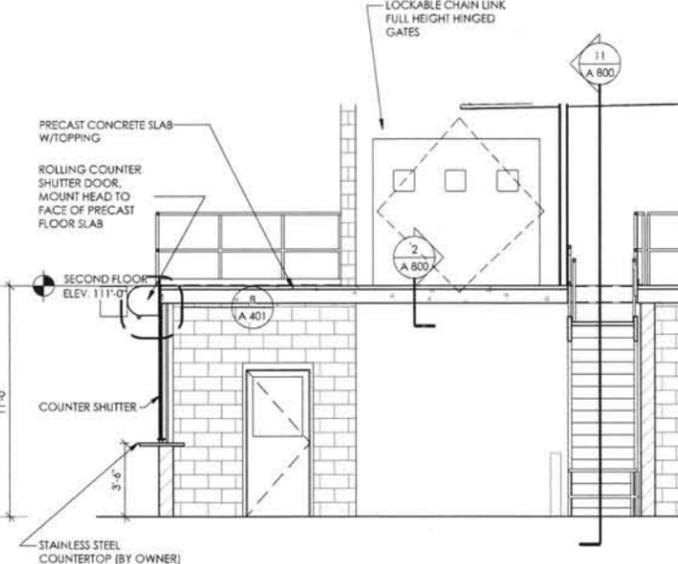
PRODUCTION 150 NORTH WALL 13
SCALE: 1/4" = 1'-0" A 800



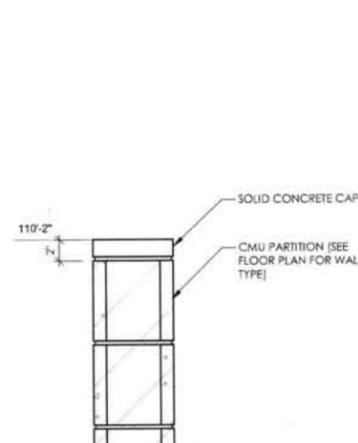
MEZZANINE STAIR SECTION 11
SCALE: 1/4" = 1'-0" A 800



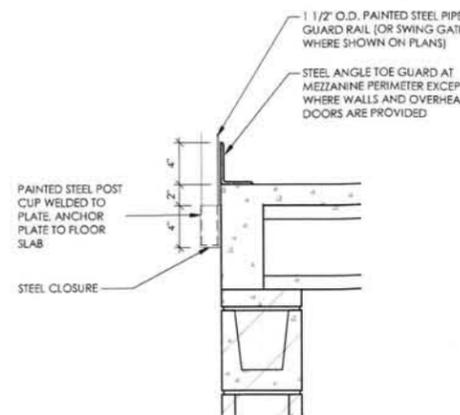
INTERIOR ELEVATION 8
SCALE: 1/4" = 1'-0" A 800



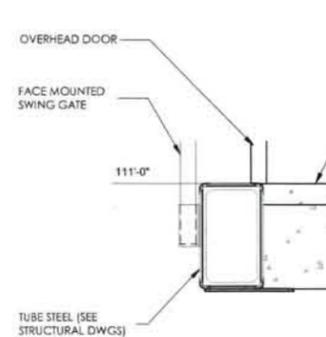
INTERIOR ELEVATION 6
SCALE: 1/4" = 1'-0" A 800



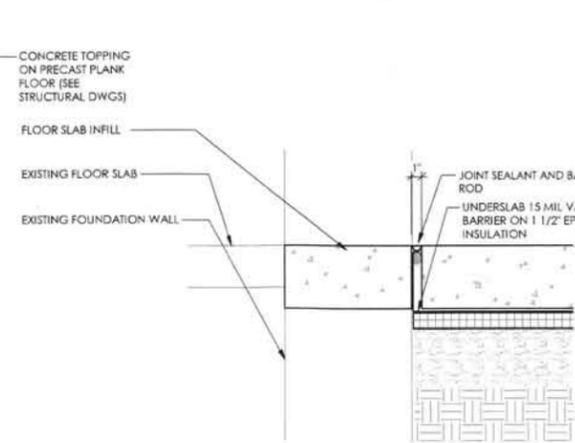
CAPPED CMU 5
SCALE: 1 1/2" = 1'-0" A 800



MEZZANINE EDGE @ RAIL 3
SCALE: 1 1/2" = 1'-0" A 800



MEZZANINE EDGE @ GATE 2
SCALE: 1 1/2" = 1'-0" A 800



FLOOR EXP. JOINT 1
SCALE: 1 1/2" = 1'-0" A 800

ISSUE DATE: 1-27-17
ADDITION & ALTERATIONS

LDV, INC.

BURLINGTON, WISCONSIN

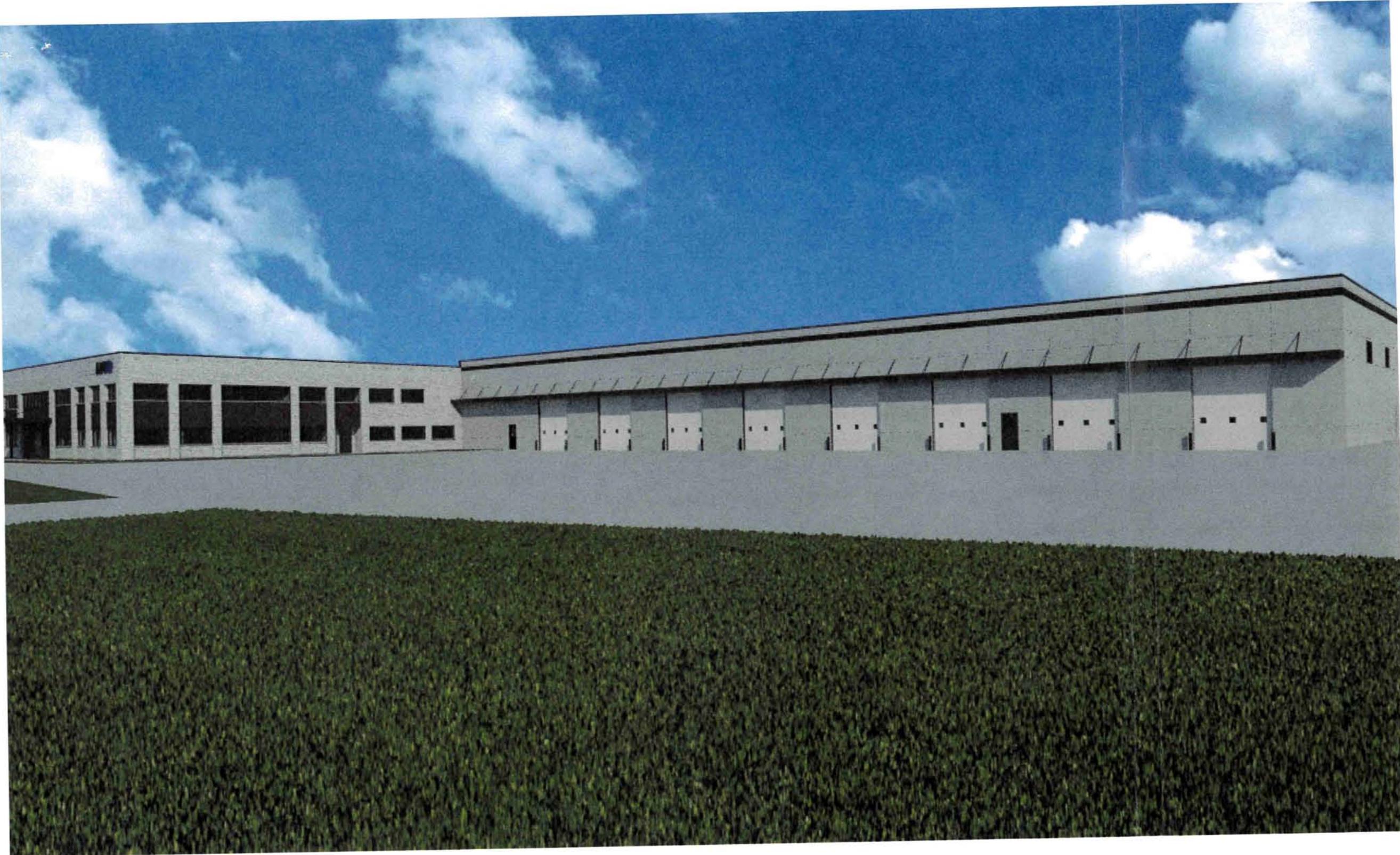
1135A MICHIGAN AVE. SHEBOYGAN, WI 53081 (920) 452-4444 | 225 EAST ST. PAUL AVE. MILWAUKEE, WI 53202 (414) 837-6450

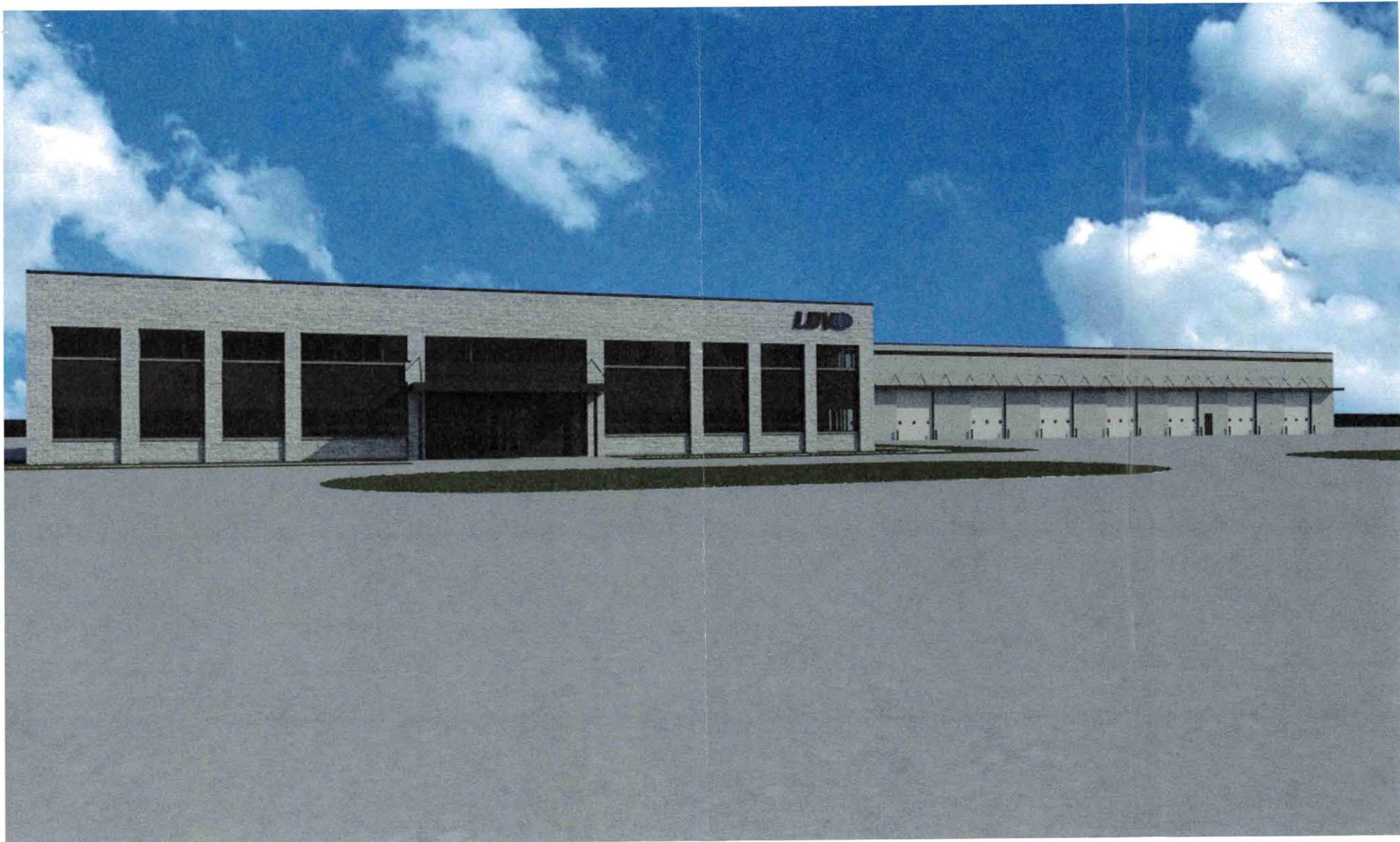
DRAWN BY: CJR

CHECKED BY: KK

A
800

PROJ. NO. 2016-91





LTD



PLAN COMMISSION

ITEM NUMBER: 8D

DATE: March 14, 2017

SUBJECT: Consideration to recommend approval of a Rezone Map Amendment request at 173 S. Perkins Blvd. from I-1 to Rs-3.

SUBMITTED BY: Gregory Guidry, Building Inspector and Zoning Administrator

PROJECT/SCOPE:

This item is to consider recommending approval of a Rezone Map Amendment request from Michelle Peterson on behalf of St. John the Divine Episcopal Church for property at 173 S. Perkins Blvd. The applicant is requesting to rezone the property from I-1, Institutional District to Rs-3, Single-Family Residential District. St. John the Divine Episcopal Church has been using the single-family residence as a daycare. Recently, the home was restored to a single-family residence and the current intent is to occupy it with a residential tenant.

ZONING:

The parcel is zoned I-1, Institutional District.

RECOMMENDATION:

Graef recommends approval of this Conditional Use, subject to items listed in the March 2, 2017 memorandum.

TIMING/IMPLEMENTATION:

This item is for recommendation to the Council at the March 14, 2017 Plan Commission, is scheduled for the March 21, 2017 Committee of the Whole meeting and with a Public Hearing the same night and at the April 5, 2017 Common Council meeting for consideration.

MAP:





collaborāte / formulāte / innovāte

One Honey Creek Corporate Center
125 South 84th Street, Suite 401
Milwaukee, WI 53214-1470
414 / 259 1500
414 / 259 0037 fax
www.graef-usa.com

MEMORANDUM

TO: Plan Commission
City of Burlington

Copies to: Carina Walters, City Administrator
Megan Watkins, Director of Administrative Services
Gregory Guidry, Building Inspector
Gregory Governatori, City Engineer, Kapur & Associates, Inc.
John Bjelajac, City Attorney
MPC Property Management, Agent and Applicant
St. John the Divine Episcopal Church, Property Owner

FROM: GRAEF
Kristian Vaughn
Tanya Fonseca, AICP

DATE: March 2, 2017

SUBJECT: Review of Rezoning Request for 173 S. Perkins Boulevard, Burlington, WI 53105

A. PURPOSE

- 1) Consider for approval a Petition for Rezoning Map Amendment Application from MPC Property Management for parcel 206-03-19-32-540-280 located at 173 S. Perkins Boulevard, Burlington, WI 53105 to rezone from I-1 "Institutional District" to Rs-3 "Single-Family Residence District."

B. RECOMMENDATION

Based upon the review of the submitted materials, GRAEF recommends that the Plan Commission recommend to the Common Council the **APPROVAL** of the following:

- a. a Petition for Rezoning Map Amendment Application from MPC Property Management for parcel 206-03-19-32-540-280 located at 173 S. Perkins Boulevard, Burlington, WI 53105 to rezone from I-1 "Institutional District" to Rs-3 "Single-Family Residence District" subject to the following recommendations:
 - (1) It is recommended that the deviation from the "Governmental and Institutional" land use type identified in "Map 1 - Recommended Land Use Plan for the City of Burlington Planning Area: 2035" in Appendix D of "A Multi-Jurisdictional Comprehensive Plan for Racine County: 2035" to "Medium Density Residential (6,200 square feet or more per dwelling unit" land use type be deemed consistent, as the change is contextually appropriate within the surrounding neighborhood; and,

- (2) It is recommended that the lot area requirement in §315-18(D) be waived.

C. BACKGROUND

MPC Property Management (Agent and Applicant) acting on behalf of St. John the Divine Episcopal Church (Property Owner) submitted a Petition for Rezoning Map Amendment to rezone parcel 206-03-19-32-540-280 at 173 S. Perkins Boulevard, Burlington, WI 53105 from I-1 "Institutional District" to Rs-3 "Single-Family Residence District." St. John the Divine Episcopal Church (the Church) has been using the single-family residence as a daycare. Recently, the home was restored to a single-family residence and the current intent is to occupy it with a residential tenant.

The single-family residence on parcel 206-03-19-32-540-280 is located within one of Burlington's original neighborhoods. The Applicant originally indicated that the parcel be rezoned to the Rd-2 "Two-Family Residence District" to match the zoning district of the surrounding parcels. Because the residence is single-family, a conditional use permit would be required to occupy the home in the Rd-2 zoning district. The Rs-3 zoning district is more appropriate, as single-family residences are permitted uses. Additionally, the approximate 6,380 square feet of lot area of parcel 206-03-19-32-540-280 makes it a legal non-conforming lot in the I-1, Rd-2, and Rs-3 Districts, as it is too small. This is not uncommon in historic residential districts that are governed by modern zoning codes. To allow for the rezoning, the lot area requirement will be recommended to be waived.

The Applicant submitted the following materials:

- a. Petition for Rezoning Map Amendment (4 sheets, submitted by MPC Property Management, dated January 27, 2017)
 - i. Petition for Rezoning Map Amendment form (2 sheets, prepared by MPC Property Management, dated January 27, 2017)
 - ii. Warranty of Deed – Document No. 1130148 for Parcel 206-03-19-32-540-280 (1 sheet, registered in the Racine County Register's Office on August 3, 1983)
 - iii. Racine County GIS Web Map Identifying Parcel 206-03-19-32-540-280 (1 sheet, dated January 19, 2017)

D. COMPLIANCE WITH "A MULTI-JURISDICTIONAL COMPREHENSIVE PLAN FOR RACINE COUNTY: 2035"

"Map 1 - Recommended Land Use Plan for the City of Burlington Planning Area: 2035" in Appendix D of "A Multi-Jurisdictional Comprehensive Plan for Racine County: 2035" indicates that the planned land use of parcel 206-03-19-32-540-280 is "Governmental and Institutional." This designation was likely developed to allow the Church to continue to use the residence as a daycare. As the Church will retain ownership of the parcel and will occupy the home with a residential tenant, the proposed deviation from the planned land use is acceptable and contextually appropriate within the neighborhood.

As the Applicant is proposing a residential land use type on a parcel designated for institutional use, the rezoning is not compliant with "A Multi-Jurisdictional Comprehensive Plan for Racine County: 2035."



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However, the rezoning is appropriate within the neighborhood context and a benefit to the City, as the home will be returned to the tax rolls. Thus, it is recommended that the rezoning be deemed consistent with the *Multi-Jurisdictional Comprehensive Plan*.

E. COMPLIANCE WITH REZONING TO “RS-3 SINGLE-FAMILY RESIDENCE DISTRICT”

The restoration of the home on parcel 206-03-19-32-540-280 to a single-family residence is compliant with the Rs-3 zoning district in §315-18(A) as a permitted use. The physical dimensions of parcel 206-03-19-32-540-280 with respect to lot width, building height, setbacks, and yards pursuant to §315-18(D, E, & F) are compliant. Parcel 206-03-19-32-540-280 does not meet the minimum lot area of 8,000 square feet pursuant to §315-18(D) with a lot area of approximately 6,380 square feet. Because parcel 206-03-19-32-540-280 is compliant in all other respects, it is recommended that the lot area requirement be waived and that the rezoning to the Rs-3 zoning district be deemed compliant.



CITY OF BURLINGTON

Building & Zoning Department
300 N. Pine Street, Burlington, WI, 53105
(262) 342-1163 – (262) 763-3474 fax
www.burlington-wi.gov

| | |
|-----------------------|------------------|
| For Office Use Only | |
| Petition No. | _____ |
| Date Filed | _____ |
| Date Received (\$500) | 1/23/17 |
| Zoning Administrator | RA (initials) |

ZONING FORM NO. 2
PETITION FOR REZONING MAP AMENDMENT

TO THE COMMON COUNCIL OF THE CITY OF BURLINGTON, WISCONSIN:

I, the undersigned, being owner/owner's agent of all the area herein described, hereby petition the Common Council of the City of Burlington, Wisconsin, to rezone and make appropriate a zoning map amendment to the following described property from I-1 District to RD-2 District:

Address of Property: 173 S PERKINS BLVD Acres: _____

Legal Description of Property (attach additional sheets if needed): SEE ATTACHED.

I have requested this rezoning for the purpose of: COMPLYING WITH CURRENT USE;
PROPERTY IS NO LONGER OPERATING AS A DAYCARE AND HAS BEEN
RESTORED TO A SINGLE-FAMILY RESIDENCE.

Please find the following items attached:

Plot Plan drawn to a scale of one inch equals one hundred (100) feet showing the area to be rezoned, its location, its dimensions, the location and classification of adjacent zoning districts, and the location and existing use of all properties within two hundred (200) feet of the area proposed to be rezoned.

Owners' Names and Addresses of all properties lying within two hundred (200) feet of the area proposed to be rezoned.

Additional Information required by the Plan Commission or Common Council.

I have certified that all the above statements submitted herewith are true and correct to the best of my knowledge and belief.

PROPERTY OWNER:

Name ST. JOHN THE DIVINE

Address 216 E CEANDLER BLVD

BURUNBROW WI 53105
(City) (State) (Zip)

Telephone No. 262-514-2111

Date 1/27/17

OWNER'S AGENT:

Name UPC PROPERTY MANAGEMENT

Address 109 E CEANDLER ST

BURUNBROW WI 53105
(City) (State) (Zip)

Telephone No. 262-671-2414

Date 1/27/17

More information maybe requested by the Plan Commission and/or Common Council if deemed necessary to properly evaluate your request. The lack of information requested by this form may be sufficient cause to deny the petition. If you have any question regarding the procedure, please contact the Zoning Administrator.

1130148

This Deed, made between Nancy L. Greenwald, n/k/a Nancy L. Vogt
and St. John The Divine, Grantor,
Grantee,

Register's Office
Racine County, Wis. } SS
Received for Record 3 day of
August A.D. 1983 at 2:30
o'clock P. M. and recorded in Volume 1684
of Records on page 817

Helen M. Schutten
Register of Deeds

Witnesseth, That the said Grantor, for a valuable consideration
conveys to Grantee the following described real estate in Racine
County, State of Wisconsin:

4.00
RETURN TO
Burlington Marine

That part of Lot 2, Block 3, Perkins' North Park,
according to the recorded plat thereof, bounded as
follows, to-wit: Begin at the Southeast corner of
Lot 2, aforesaid; run thence Northwesterly along the
Westerly line of Perkins' Blvd. 55 feet; thence Westerly parallel with the South
line of said Lot 2, to the Westerly line of property described in deed wherein
William G. Finke and Margaret Finke are grantors and Louis Smithers is grantee,
said deed dated June 7, 1915 and recorded in Vol. 155-450; thence South on said
Westerly line to the North line of Chandler Blvd; thence East along the North
line of Chandler Blvd., 117 feet to the place of beginning. Said land being
in the City of Burlington, County of Racine and State of Wisconsin.

Tax Parcel No:

Wisconsin Real Estate Transfer Tax \$ 141.00

This Not homestead property.
(is) (is not)

Together with all and singular the hereditaments and appurtenances thereunto belonging;

And Nancy L. Greenwald, n/k/a Nancy L. Vogt
warrants that the title is good, indefeasible in fee simple and free and clear of encumbrances except

Subject to easements and restrictions of record, municipal building code and zoning
ordinances.

and will warrant and defend the same.

Dated this 1st day of August, 1983

..... (SEAL) *x Nancy L. Vogt* (SEAL)
* Nancy L. Greenwald
..... (SEAL) n/k/a Nancy L. Vogt (SEAL)
*

AUTHENTICATION

ACKNOWLEDGMENT

Signature(s)

STATE OF WISCONSIN

authenticated this day of, 19.....

Racine County. } SS.
Personally came before me this 1st day of
August, 1983, the above named
Nancy L. Greenwald, n/k/a Nancy L. Vogt,

TITLE: MEMBER STATE BAR OF WISCONSIN

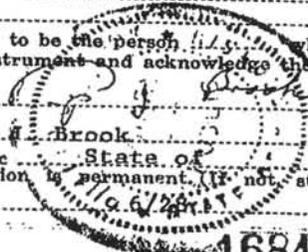
(If not, authorized by § 706.06, Wis. Stats.)

to me known to be the person who executed the foregoing instrument and acknowledged the same.

THIS INSTRUMENT WAS DRAFTED BY

Kirt J. E. Ludwig, Attorney

* Philip A. Brook
Notary Public, State of Wisconsin
My Commission is permanent (If not, state expiration date:, 1987.)



1684 PAGE 817

*Names of persons signing in any capacity should be typed or printed below their signatures.

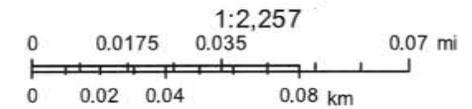
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ArcGIS Web Map



January 19, 2017

| | | | | |
|---|---|--|---|--|
|  Municipal Boundaries | City of Burlington Zoning |  B-2A |  M-1 |  RS-3 |
|  Tax Parcel |  B-1 |  B-3 |  RD-2 | |
|  Quarter Section |  B-2 |  I-1 |  RM-4 | |



Sources: Esri, HERE, DeLorme, Intermap, increment P Corp., GEBCO, USGS, FAO, NPS, NRCAN, GeoBase, IGN, Kadaster NL, Ordnance Survey,

**NOTICE OF PUBLIC HEARING
FOR AMENDING THE ZONING MAP**

TO WHOM IT MAY CONCERN:

NOTICE is hereby given that the Common Council of the City of Burlington proposes to amend Chapter 315 of the Municipal Code, Zoning Map, as it pertains to:

Owner: St. John the Divine
Applicant: MPC Property Management
Applicant Address: 109 E. Chestnut Street
Location of Request: **173 S. Perkins Blvd**
Existing Zoning: I-1, Institutional District
Proposed Zoning: Rs-3, Single-Family Residential
Proposed Use: To be used as a residential unit

Legal Description:

THAT PART OF LOT 2, BLOCK 3, PERKINS' NORTH PARK, ACCORDING TO THE RECORDED PLAT THEREOF, BOUNDED AS FOLLOWS, TO-WIT: BEGIN AT THE SOUTHEAST CORNER OF LOT 2, AFORESAID; RUN THENCE NORTHWESTERLY ALONG THE WESTERLY LINE OF PERKINS' BLVD. 55 FEET; THENCE WESTERLY PARALLEL WITH THE SOUTH LINE OF SAID LOT 2, TO THE WESTERLY LINE OF PROPERTY DESCRIBED IN DEED WHEREIN WILLIAM G. FINKE AND MARGARET FINKE ARE GRANTORS AND LOUIS SMITHERS IS GRANTEE, SAID DEED DATED JUNE 7, 1915 AND RECORDED IN VOL. 155-450; THENCE SOUTH ON SAID WESTERLY LINE TO THE NORTH LINE OF CHANDLER BLVD; THENCE EAST ALONG THE NORTH LINE OF CHANDLER BLVD., 117 FEET TO THE PLACE OF BEGINNING. SAID LAND BEING IN THE CITY OF BURLINGTON, COUNTY OF RACINE AND STATE OF WISCONSIN.

NOTICE IS FURTHER GIVEN that a Public Hearing on the above matter will be held by the Common Council in the City Council Chambers, in the City of Burlington located at 224 E. Jefferson Street on:

**TUESDAY, MARCH 21, 2017 DURING THE MEETING OF THE COMMON COUNCIL
SCHEDULED TO BEGIN AT 6:30 P.M. OR SHORTLY THEREAFTER**

To hear any persons objecting to, or in support thereof, on the above mentioned matter.

CITY OF BURLINGTON

Dated at Burlington, Wisconsin, this 24th day of February, 2017.

Diahnn Halbach, City Clerk

Published in the Burlington Standard Press
March 2nd and March 9th, 2017